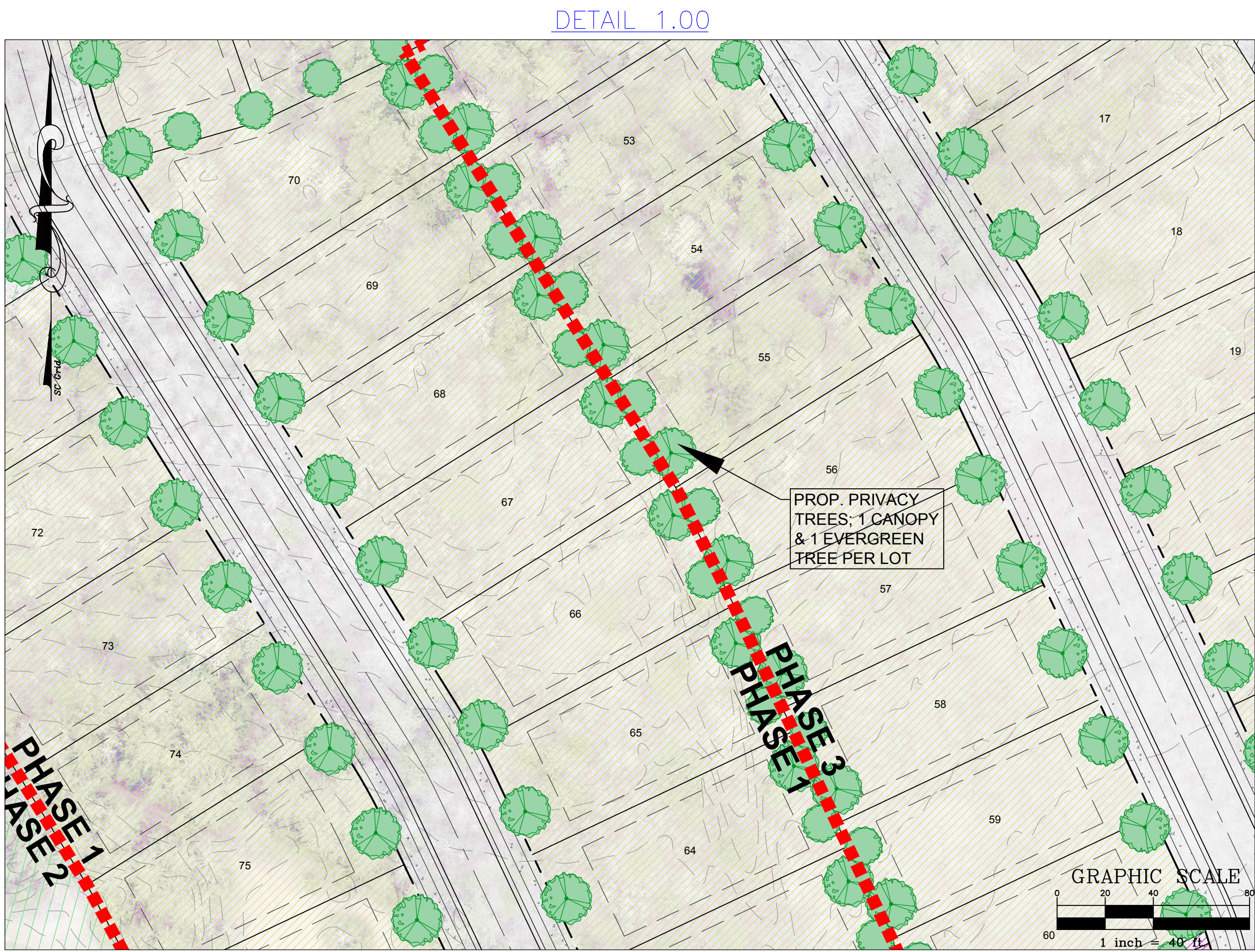
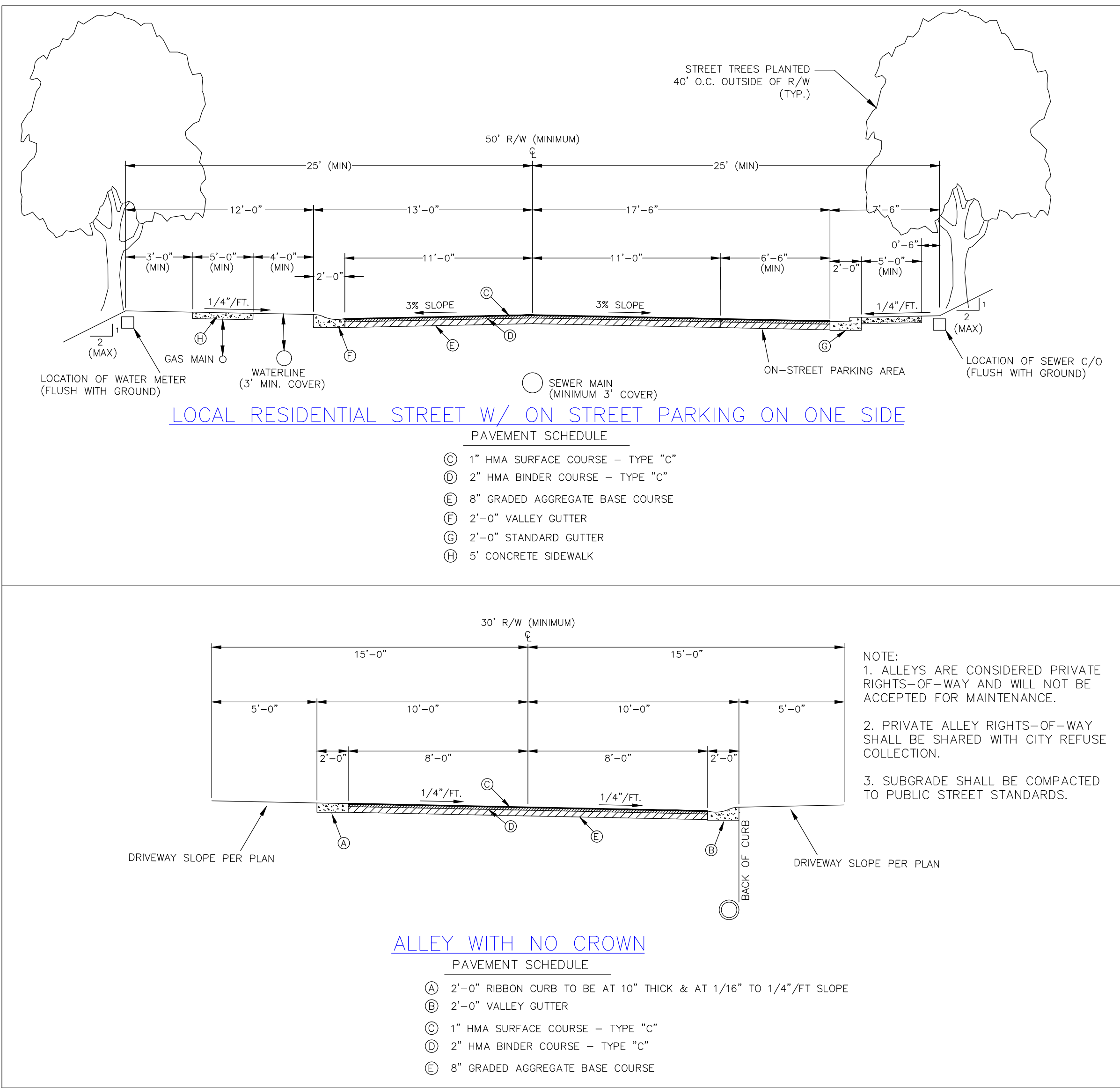
RZ-1



CITY OF YORK STANDARDS & REQUIREMENTS:

- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
 - LOTS 29-35
 - LOTS 41-45
 - LOTS 48-52, 70
 - LOTS 78-82EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT FRONTAGE OF FOURTH STREET PER GATEWAY CORRIDOR REQUIREMENTS.
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, ACCESSORY STRUCTURE, OR HOME OCCUPATION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY PLANNING COMMISSION AND BOARD OF ZONING APPEALS.
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
- AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF SPECIAL EXCEPTION CONCEPTUAL SITE PLAN APPROVAL, OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF SPECIAL EXCEPTION CONCEPTUAL SITE PLAN APPROVAL.
- A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE, WHEN APPLICABLE.
- THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.

CONDITIONAL NOTES:

ARCHITECTURALS:

- EXTERIOR BUILDING MATERIALS MAY INCLUDE FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. A MINIMUM OF 30% OF THE FRONT FACADE SHALL BE COVERED WITH EITHER BRICK OR STONE. VINYL SHALL ONLY BE USED FOR DOORS & TRIM.
- A BRICK OR STONE WATER TABLE SHALL EXTEND A MINIMUM OF 18" ABOVE GRADE ON ALL SIDES.
- FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
 - ALL UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY
- NO SAME TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH HOME SHALL BE NO LESS THAN 1,800 SQ.FT FOR 1-STORY HOMES AND NO LESS THAN 2,000 SQ. FT FOR 2-STORY HOMES.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,600 SQ.FT.
- MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 5/12 PITCH (22.6 DEGREES).

PERIMETER BUFFERS:

- PERIMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
- DEVELOPER MAY TEMPORARILY ENCROACH INTO PERIMETER BUFFER/YARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
 - NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN
 - ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

STREETS:

- ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
- THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR SPECIAL EXCEPTION DEVELOPMENT.
- STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON
- ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
- STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.

COMMON AREAS:

- ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOs, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. THE CENTRAL AMENITY SHALL INCLUDE A CABANA, POOL, AND A MINIMUM OF 12 PARKING SPACES. PLEASE SEE AMENITY SCHEDULE BELOW FOR TIMING REQUIREMENTS.
- NATURAL SURFACE TRAILS SHALL BE MIN. 48-INCHES IN WIDTH.
- PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH.
- PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
- ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE OR THE WESTERNMOST CUL-DE-SAC. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN.

BUILDING HEIGHTS:

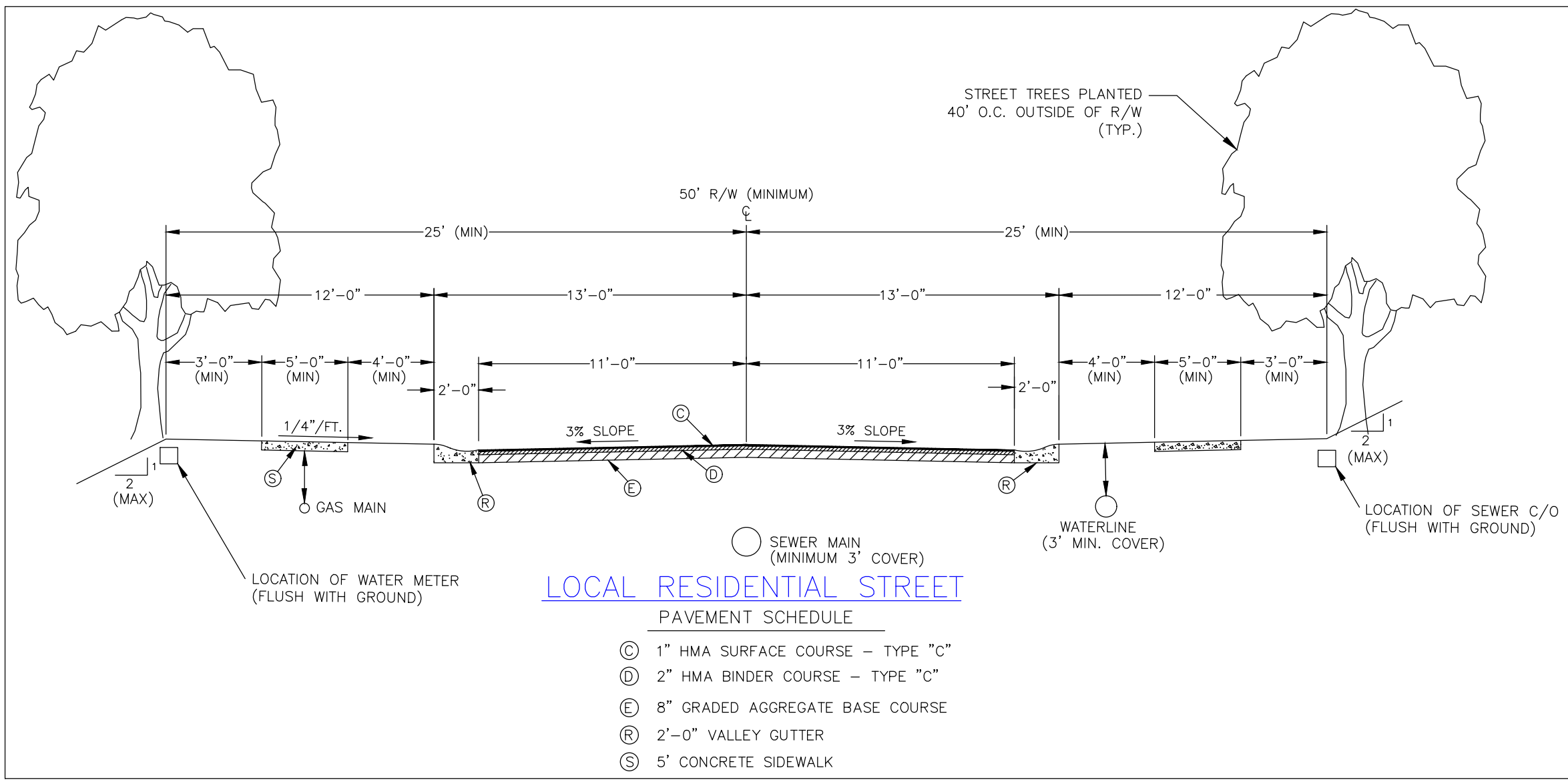
- MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

FENCING:

- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9
- 42" BLACK CHAIN LINK FENCE OR APPROVED EQUAL TO BE PROVIDED AROUND ALL STORMWATER PONDS.

AMENITY SCHEDULE:

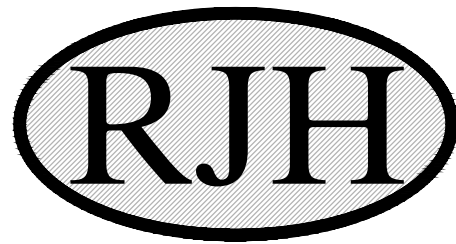
- PHASING AS SPECIFIED ON MASTER REZONING PLAN (ADJUSTMENTS SUBJECT TO PLANNING COMMISSION APPROVAL AT PRELIMINARY PLAT)
- THE CENTRAL AMENITY (CABANA/POOL) SHALL BE BUILT PRIOR TO RECORDEATION OF PHASE 2
OR
THE CENTRAL AMENITY (CABANA/POOL) MUST BE GUARANTEED WITH A LETTER OF CREDIT AT 150% OF THE ESTIMATED CONSTRUCTION VALUE AS CERTIFIED BY AN ENGINEER PRIOR TO THE RECORDEATION OF PHASE 2
AND
BUILT PRIOR TO THE RECORDEATION OF PHASE 3



DATE	ISSUED FOR	REV
12/22/2021	Submittal to City	0
02/16/2022	Submittal to City	1



Engineer:



R. Joe Harris & Associates, Inc.

Engineering • Land Surveying • Planning Management

1186 Stonemort Blvd., Togo City, S.C. 29708

P: (803) 802-1799

www.rjoe Harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

FOR INFORMATION ONLY

Project Manager	Drawn
B. Pridemore	B. Norris
Department Manager	Checked
P. Murphy	J. Murdock

Print/Plot Date

February 16, 2022

Asbuilt Drawn	Asbuilt Date
-	-

Client

South Fork Ventures LLC
PO BOX 178
WADMALAW ISLAND, SC 29487
P: (704) 254-3137

Project:

Cannon Village

Drawing Title:

Rezoning Plan & Special Exception

Project No.

4811

DWG File Name:

4811 - Rezoning Plan

Drawing No.

RZ-2

SINGLE FAMILY DETACHED HOMES



SAMPLE ELVATIONS:

ALL ELEVATIONS DEPICTED ARE FOR ILLUSTRATIVE AND REPRESENTATIVE PURPOSES ONLY AND SUBJECT TO CHANGE AT TIME OF BUILD, SO LONG AS HOMES ARE CONSISTENT WITH IMPLIED REQUIREMENTS AND REPRESENTATIONS.

ACTUAL PRODUCTS MAY VARY.

22' REAR ENTRY TOWNHOMES - VARIOUS STYLES



22' REAR ENTRY TOWNHOMES - BRICK THEME



22' REAR ENTRY TOWNHOMES - STONE THEME



22' REAR FRONT ENTRY TOWNHOMES - BRICK THEME



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South Fork Ventures LLC PO BOX 178 WADMALAW ISLAND, SC 29487 P: (704) 254-3137	
Project:	
Cannon Village	
Drawing Title:	
Rezoning Plan & Special Exception	
Project No.	Drawing No.
4811	
DWG File Name:	
4811 - Rezoning Plan	RZ-3