

VICINITY MAP NTS

SITE DATA	
DEVELOPER/APPLICANT MERITAGE HOMES OF THE CAROLINAS INC. 13925 BALLANTYNE CORP. PLACE, SUITE 300 CHARLOTTE, NC 28277	
PID:	0701601052, 0700616001
EXISTING ZONING:	R-7
PROPOSED ZONING:	R-5
LOT SIZE: 46' x 106'	
AREA:	4,876 SF
WIDTH:	46'
MINIMUM SETBACKS:	
FRONT:	25'
INTERNAL SIDE:	8'
REAR:	15'
CORNER LOT SIZE: 49' x 106'	
AREA:	5,194 SF
WIDTH:	49'
MINIMUM SETBACKS:	
FRONT:	25'
INTERNAL SIDE:	8'
CORNER SIDE:	9.5'
REAR:	15'
CUL-DE-SAC LOTS	11 LOTS (7.0% OF TOTAL)
DEVELOPMENT AREA	
AREA:	147.29 AC
LOT COUNT:	157
LOT DENSITY:	3.32 UNITS/AC
TOTAL OPEN SPACE:	± 17.05 AC OR ± 36.1% OF TOTAL SITE
(INCLUDES STORMWATER)	
NATURAL AREA OPEN SPACE:	± 13.68 AC (EXCLUDES STORMWATER CONTROL MEASURES)
(25% OF TOTAL SITE: ± 11.82 AC)	
RECREATIONAL AREA OPEN SPACE:	± 0.80 AC
STORMWATER DETENTION:	± 4.85 AC
(10% TOTAL DEVELOPABLE AREA)	

SEE REZONING NOTES ON SHEET RZ-2

ADJACENT PROPERTY OWNERS

PARCEL	DEED	OWNER
1	0701601160	5303-233 NANCY B FARRIS
2	0701601051	5303-233 NANCY B FARRIS
3	0701601050	5303-233 NANCY B FARRIS
4	0701601049	9080-251 REES PROPERTIES INC.
5	0701602007	8552-9 DANIEL RIVERA & MAYRA YOLANDA RIVERA
6	0701602008	17112-420 SAMANTHA A DUKES & ANGEL LUIS
7	0701602009	13749-207 PATRICK C & STEPHANIE S HERRON
8	0701602010	10860-70 DORIS ANTONIANNIA REID
9	0701602011	17805-452 BREANNA N FUNDERBURK & AUSTIN E ROUSSEAU
10	0701602012	4990-305 EDWIN G & TAMMY G YOUNG
11	0701602013	16243-221 JENNA L BOYDSTON
12	0701602014	1591-215 EDWIN G YOUNG
13	0701602015	5574-140 RICHARD M & ELIZABETH P DOVER
14	0701602016	9849-176 DORA MOORE
15	0701602017	6039-101 KENYATTA V & KELLY S TRIPP
16	0701602018	1631-76 EDWIN G & TAMMY G YOUNG
17	0701602019	16698-291 BRANDON SUTKA
18	0701601272	13004-129 PATRICK W LIGHTSEY & BRITTANY N LIGHTSEY
19	0701601273	15960-26 LAKISHA R BROWN
20	0701601274	17399-180 GERALD R DECHERY
21	0701601275	14059-166 ROXANN D HOLLAND
22	0701601276	10029-35 NAZIRA CHEEMA
23	0701601277	8190-252 WILLIAM D & MICHELLE L BOWEN
24	0701601059	13495-88 CRAY INC
25	0701601256	11035-311 FRANK DANIEL
26	0701601257	7761-54 BILLY R & DAPHNE GREENE
27	0701601270	6721-146 LIBERTY OAKS INC.
28	0701601269	16129-126 CURTIS WILLIAMS JR
29	0701601227	16820-314 TALAYER LATRICIA RICHMOND
30	0701601053	17916-338 TAYLOR THRIFT
31	0700616014	16752-203 JOHN & SUSAN JENSEN
32	0700616004	215-420 FLOREE & DARRYL DAVIS ANDERSON
33	0700616005	215-420 FLOREE & DARRYL DAVIS ANDERSON
34	0700616006	13959-182 SHERYL DENISE LOWRY
35	0700605028	2002-252 PHYLLIS MOORE WARD
36	0700605030	17939-311 JAMES PROBST
37	0700605032	9831-228 LAQUAN WALKER & IDRIS O RICE
38	0700605034	707-338 LESLIE EUGENE & DEBRA P MARTIN
39	0700605036	17327-11 KIVA LLC
40	0700606001	12143-180 DAVID ROBERTS
41	0700606004	12143-189 DAVID ROBERTS
42	0700606002	10274-240 RUTH W PRESTON & CLAUDETTE PARHAM
43	0700702015	17912-417 ODEA ALEJANDRO HERNANDEZ
44	0700702014	17928-476 MONICA ZERDA
45	0700702013	275-410 FRED L DOUGLAS
46	0700702026	13368-57 CUSTOM RECYCLING LLC
47	0700702027	14184-150 CUSTOM RECYCLING LLC

NOTE: PROPERTY INFORMATION BASED ON YORK COUNTY GIS

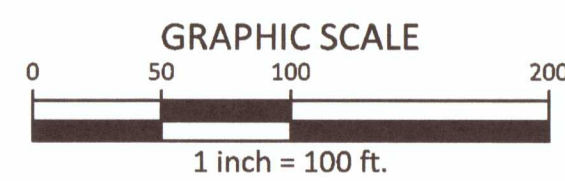
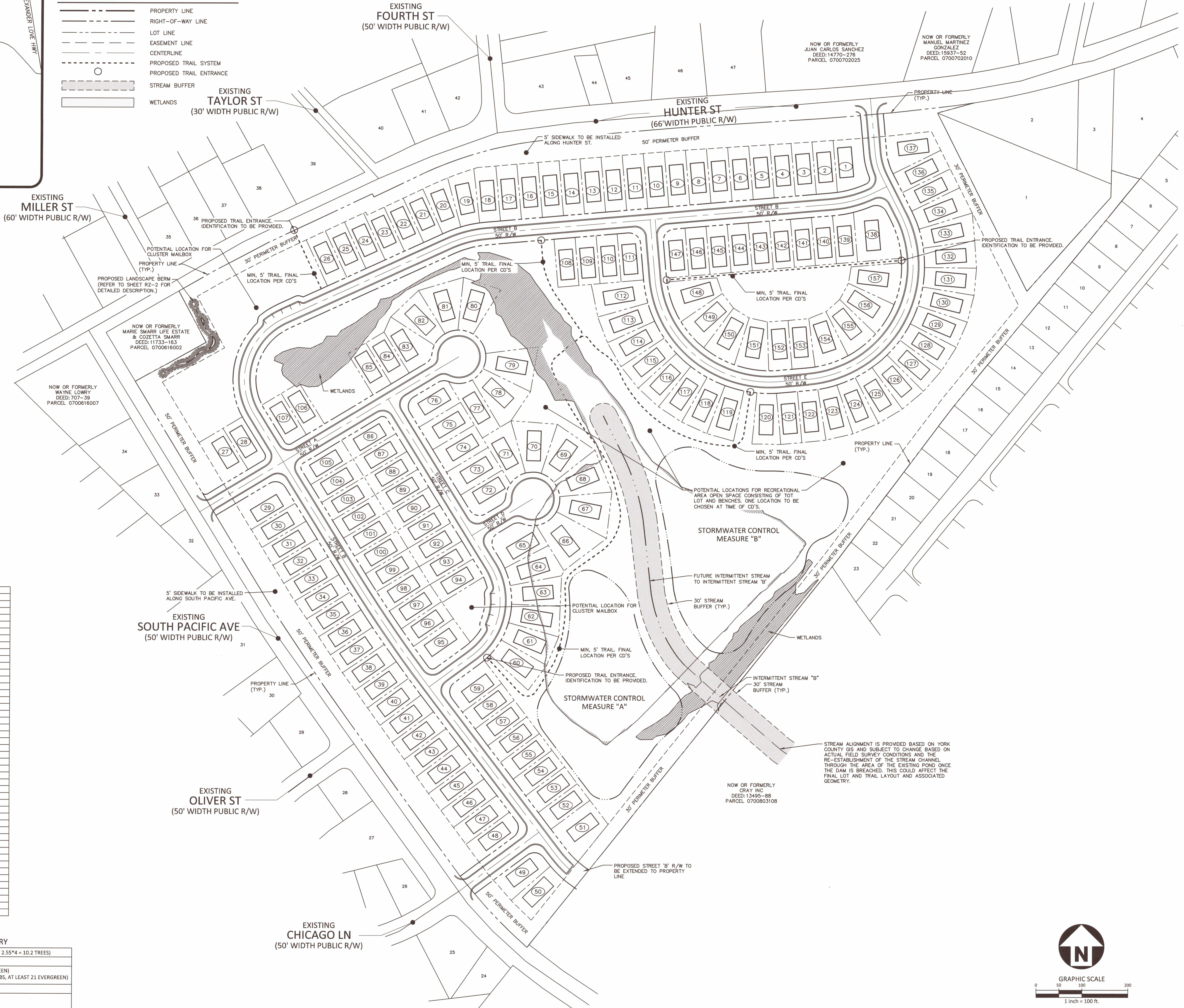
LANDSCAPE BERM PLANTING SUMMARY

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TOTAL ORNAMENTAL TREES PROVIDED:	11 TREES
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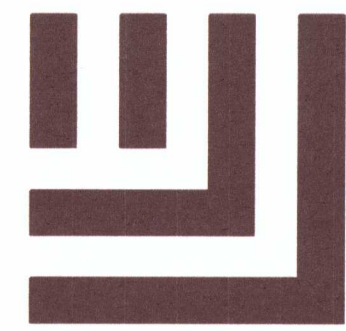
NOTE:
BERM VARIES BETWEEN 4 AND 5 FEET IN HEIGHT.

SITE LEGEND

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY LINE
---	LOT LINE
- - - -	EASEMENT LINE
---	CENTERLINE
- - - -	PROPOSED TRAIL SYSTEM
- - - -	PROPOSED TRAIL ENTRANCE
▨	STREAM BUFFER
▨	WETLANDS



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



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13925 BALLANTYNE CORP. PLACE, SUITE 300
CHARLOTTE, NORTH CAROLINA 28277
PHONE: 704. 944. 8900



SOUTH PACIFIC AVENUE CONCEPTUAL SITE PLAN SOUTH PACIFIC AVENUE AND HUNTER STREET YORK, SOUTH CAROLINA, 29745

REVISIONS

NO.	DATE	CITY OF YORK COMMENTS
1	02.17.2020	ROAD REALIGNMENT & SMARR BUFFER
2	07.15.2020	

PLAN INFORMATION

PROJECT NO.	MRH-19000
FILENAME	MRH19000-RZ1
CHECKED BY	EM
DRAWN BY	JDS
SCALE	1"=100'
DATE	01.27.2020

SHEET

CONCEPTUAL SITE PLAN

RZ-1

DEVELOPMENT STANDARDS
TECHNICAL DATA SHEET
MERITAGE HOMES
02/17/2020

Site Development Data:

Acreage: +/- 47.29 acres
Tax Parcels: 0701601052 and 0700616001
Existing Zoning: R-7
Proposed Zoning: R-5
Existing Uses: Vacant
Proposed Uses: Up to 157 single-family detached dwellings
Building Height: Maximum building height up to 35' from finished grade to the highest point of a flat, gable, hip, or gambrel roof, or the deck line of a mansard roof

1. General Provisions

These Development Standards form part of the Rezoning Plan associated with the Rezoning Petition filed by Meritage Homes (the "Petitioner") to accommodate the development of a single-family residential community on that approximately 47.29-acre site located on the south side of Hunter Street and east of S. Pacific Avenue, which is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Numbers 0701601052 and 0700616001.

Development of the Site shall be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of York Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the R-5 Zoning District shall govern all development taking place on the Site.

Inasmuch as planning for the proposed redevelopment of the Site has not yet advanced beyond the formative stage, the ultimate layouts of the development proposed, the exact alignments of streets and points of access, the configurations and placements of parking areas and the heights and masses of buildings have not yet been determined. As a consequence, the configurations, placements and sizes of the buildings and parking areas depicted on the Rezoning Plan are schematic in nature and therefore are subject to refinements as part of the total design process. They may, therefore, be altered or modified during design development and construction document phases so long as the maximum parking and building envelope lines established on the Rezoning Plan are not violated and the proposed alterations or modifications do not exceed the parameters established under these Development Standards and under the Ordinance for the R-5 District.

2. Permitted Uses and Maximum Development

The Site may be developed with up to 157 single-family detached dwellings, together with any incidental and accessory uses related thereto that are allowed in the R-5 zoning district.

3. Transportation

- a) Vehicular access will be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access point shown on the Rezoning Plan is subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required by the City and SCDOT for approval.
- b) As depicted on the Rezoning Plan, the Site will be served by public streets.
- c) The Petitioner shall provide sidewalks along the Site's frontage of Hunter Street and S. Pacific Avenue.

- d) Internal sidewalks shall be provided along all public streets throughout the Site. Pedestrian paths shall be provided throughout the site as depicted on the Rezoning Plan. Final locations of the pedestrian paths will be determined as part of the construction drawings.

- e) Unless otherwise stated herein, all transportation improvements shall be approved and constructed prior to the issuance of the 51st certificate of occupancy for principal buildings within the Site.

4. Architectural Standards

- a) The principal buildings used for residential uses constructed on the Site may use a variety of building materials. The building materials used for dwellings may be a combination of the following: glass, brick, brick veneer, stone, simulated stone, pre-cast stone, pre-cast concrete, synthetic stone, stucco, vinyl, cementitious siding (such as Hardi-plank), EIFS or wood.
- b) The front façade of the dwellings shall include:
- 24 inch high brick or stone water table from the base of the foundation
 - At least 2 materials listed in a) above.
- c) All front elevations will have variations (i.e. recesses and projections) so as not to have a flush front façade.
- d) Minimum heated square footage of dwellings: 1,500 square feet
- e) Minimum roof pitch: Shall be sloped no less than 5:12
- f) The same front elevation and colors will not be constructed on an adjacent lot or lot across the street.
- g) Garage doors shall not face Hunter Street or S. Pacific Avenue.
- h) Garage doors will be carriage style with windows and decorative hardware.
- i) Architectural shingles will be provided.
- j) Coach lights will be provided on the façade of the dwellings.

5. Open Space, Streetscape and Landscaping

- a) The Petitioner shall provide a minimum of approximately 11.82 acres or 25% open space of the project area throughout the Site. The Rezoning Plan illustrates approximately 19.3 acres or approximately 40% of open space for the Site. If necessary, the Petitioner reserves the right for site and/or lot grading or installation of retaining walls within the open space.
- b) The Petitioner shall provide a 50 foot Perimeter Buffer along S. Pacific Avenue and 30 foot perimeter buffer along Hunter Street and remaining Site boundaries, in the locations as generally depicted on the Rezoning Plan. Site grading may occur within the above referenced Buffers.

6. Lighting

- a) Lighting per Ordinance will be provided within the Site along public streets.

7. Amendments to Rezoning Plan

Future amendments to the Technical Data Sheet or these Development Standards may be applied for by the then Owner or Owners of the parcel or parcels within the Site involved in accordance with the provisions of the Ordinance.

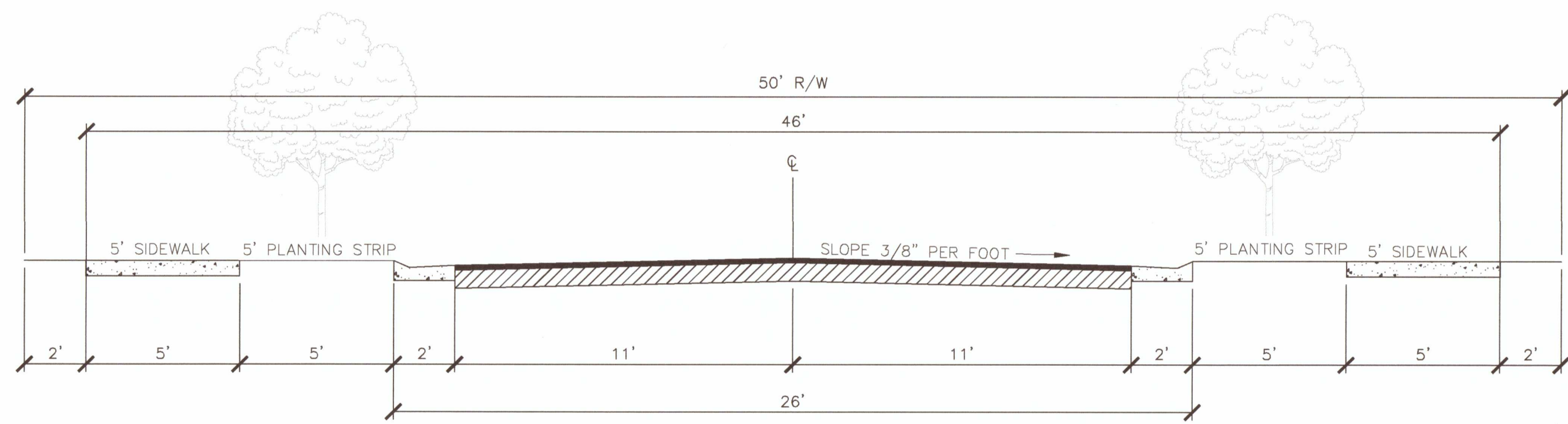
Further alterations or modifications to this Rezoning Plan which, in the opinion of the Planning Director, substantially alter the character of the development or significantly alter the Technical Data Sheet or any of its conditions or which increase the intensity of development shall not be deemed to be minor and may only be made in accordance with the Ordinance, as applicable.

8. Binding Effect of the Rezoning Documents and Definitions

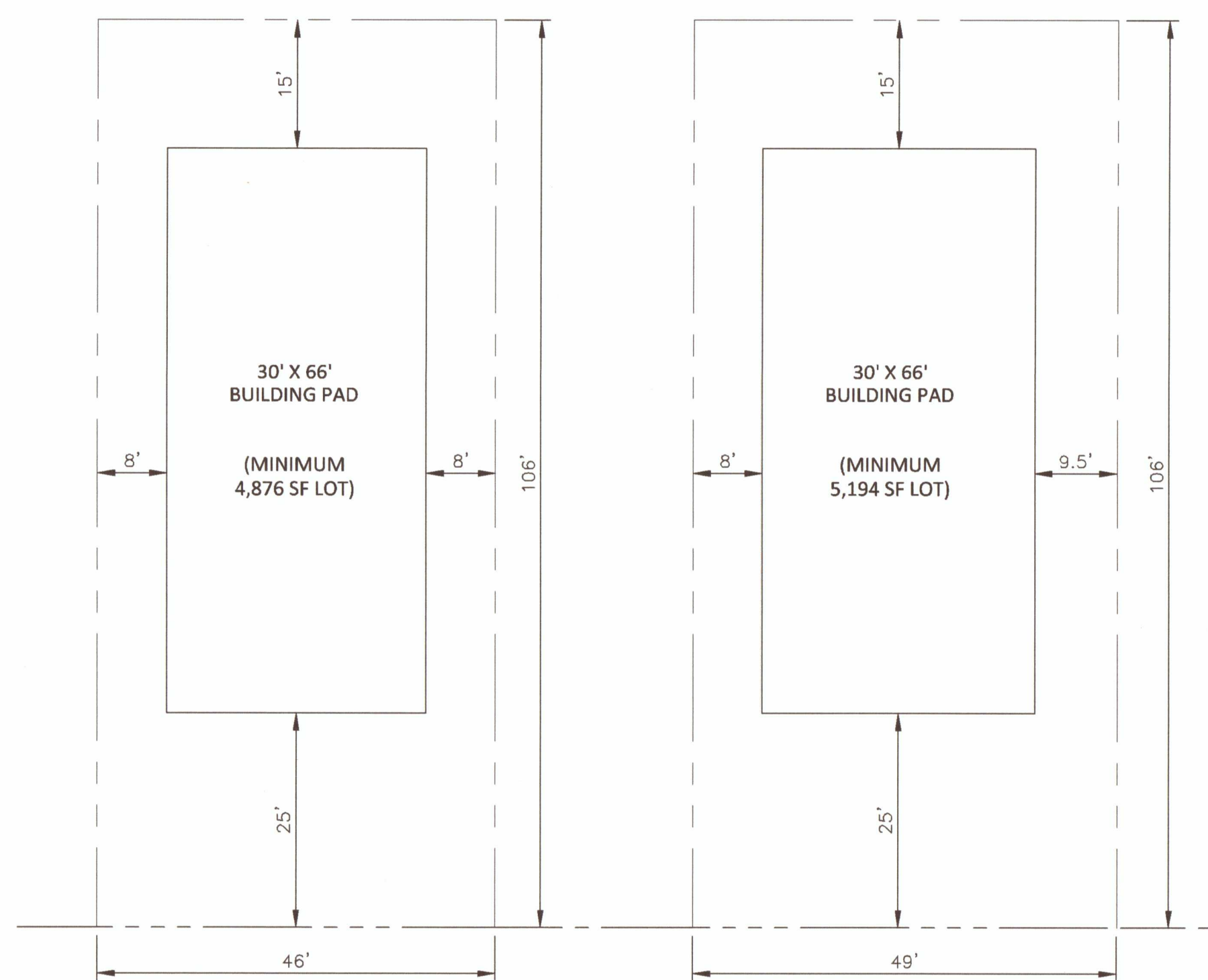
- a) If this Rezoning Plan is approved, all conditions applicable to development of the Site imposed under the Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- b) Throughout these Development Standards, the terms, "Petitioner" and "Owner" and "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owners of the Site from time to time who may be involved in any future development thereof.
- c) Vested rights to the project shall expire if any of the following occurs:
- If a preliminary plat is not approved within 2 years of special exception approval, or
 - If the time period between preliminary and final plat approvals exceeds 2 years, or
 - If any portion of the approved conceptual site plan is not given final plat approval within 5 years of special exception approval.

9. City of York Standards

- a) All pertinent requirements of the City of York Zoning and Subdivision Ordinances (Appendices A & B of the York City Code) must be met.
- b) The streetscape of interior streets shall be per standard City of York requirements (trees, street lighting, sidewalks, etc.).
- c) Street trees, streetlights, and sidewalks shall be installed along the Site's frontage of South Pacific Avenue and Hunter Street in accordance with City of York Zoning and Subdivision Ordinances. Minimum planting strip width shall be 6 feet in width and sidewalk shall be a minimum of 5 feet in width. Planting strips will be installed next to the streets. Described items above may need to be adjusted based on existing utilities and roadway conditions. Canopy Trees may be substituted with understory trees when overhead utilities exist. All SCDOT and Roadway sight line requirements shall be met.
- d) Landscaping to be provided along property lines shared between lots 107-115 and 118-126 where site grading permits.
- e) Identification to be provided at trail entrances. Potential locations provided on Rezoning Plan.
- f) Landscape will be provided along the side of corner lots, but located outside sight distance triangles.
- g) Any proposed subdivision signage, home occupation or accessory structure shall be handled in accordance with standard City of York requirements. Signage easement(s) must be noted on the preliminary and final plat submittals.
- h) Off-street parking shall be designed per standard City of York requirements except as otherwise approved by the BZA.
- i) Street frontage requirements for cul-de-sac lots shall be governed by standard requirements from the Zoning Ordinance.
- j) Dead-end/cul-de-sac streets and overall landscaping/buffers shall be designed per standard City of York requirements.
- k) Community mailboxes shall be installed per USPS requirements. Potential locations provided on Rezoning Plan.
- l) Dedicated street, utility, etc. rights of way for stub street shall be provided to the adjacent property line.
- m) At the final plat stage, the method(s) must be identified for ensuring that all required improvements are installed and maintained. Deed restrictions, etc. must be submitted for City review at the final plat stage (and ultimately recorded).
- n) All SCDHEC requirements must be met regarding stormwater. The stormwater areas shall be designed to meet City and SCDHEC requirements.
- o) All SCDOT requirements for the project must be met.
- p) All requirements of the City of York Fire and Public Works Departments shall be met at the preliminary and final plat stages.
- q) The phasing plan will be presented at the preliminary plat stage. The subdivision name and street names must be approved by York County Preparedness 911.



TYPICAL LOCAL STREET CROSS SECTION
NTS



TYPICAL INTERNAL LOT
TYPICAL CORNER LOT
TYPICAL LOT SETBACKS & DIMENSIONS
NTS



LANDSCAPE BERM PLANT LAYOUT
SCALE: 1" = 30"

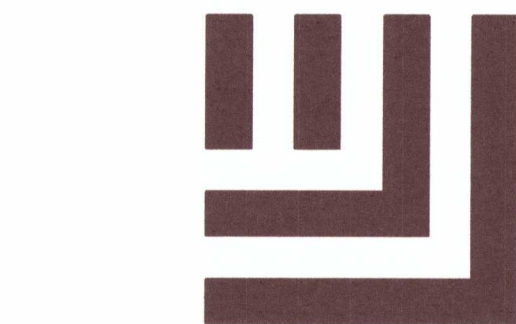
PLANT SCHEDULE BERM

UNDERSTORY TREES	CODE	QTY	COMMON // BOTANICAL NAME	GAL	HEIGHT	CONT
	LTR	3	Red Crape Myrtle Multi-Trunk Lagerstroemia x "Tuscarora"	1.5" min	6' min	B&B
	MSR	8	Royal Star Magnolia Magnolia stellata "Royal Star"	1.5" min	6' min	B&B
DECIDUOUS SHRUBS	CODE	QTY	COMMON // BOTANICAL NAME	CONT	HEIGHT	SPREAD
	HQSQ	13	Snow Queen Oakleaf Hydrangea Hydrangea quercifolia "Snow Queen"	3 gal	24" min	24" min
EVERGREEN SHRUBS	CODE	QTY	COMMON // BOTANICAL NAME	CONT	HEIGHT	SPREAD
	CSCC	6	Christmas Camellia Camellia japonica	3 gal	24" min	24" min
	LCER	6	Ever Red Loropetalum Loropetalum chinense "Ever Red"	3 gal	24" min	24" min
	MCWM	14	Wax Myrtle Myrica carifera	3 gal	24" min	24" min
	VTAR	2	Arrowwood Viburnum tinus	3 gal	24" min	24" min
GROUND COVERS	CODE	QTY	COMMON // BOTANICAL NAME	CONT	SPACING	
	CYDA	4,723 sq ft	Bermuda 419 Cynodon dactylon	Pallet	N/A	

LANDSCAPE BERM PLANTING SUMMARY
(Subject to change based on construction drawing final design and grading requirements.)

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CONCEPTUAL SITE PLAN
SOUTH PACIFIC AVENUE AND HUNTER STREET
YORK, SOUTH CAROLINA, 29745

REVISIONS

NO.	DATE	CITY OF YORK COMMENTS
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2	07.15.2020	

PLAN INFORMATION

PROJECT NO. MRH-19000
FILENAME MRH19000-R21
CHECKED BY EM
DRAWN BY JDS
SCALE
DATE 01.27.2020

SHEET

REZONING
NOTES

RZ-2