



EXAMPLE PRODUCTS TOWN HOMES

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF HOMES TO BE BUILT.

ACTUAL HOMES MAY VARY BUT SHALL MEET OR EXCEED STYLE OF HOMES SHOWN.



EXAMPLE PRODUCTS 43' WIDE LOTS

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF HOMES TO BE BUILT.

ACTUAL HOMES MAY VARY BUT SHALL MEET OR EXCEED STYLE OF HOMES SHOWN.



EXAMPLE PRODUCTS 53' WIDE LOTS

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF HOMES TO BE BUILT.

ACTUAL HOMES MAY VARY BUT SHALL MEET OR EXCEED STYLE OF HOMES SHOWN.



EXAMPLE PRODUCTS

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF GATES.

ACTUAL GATE MAY VARY BUT SHALL MEET OR EXCEED STYLE OF GATES SHOWN.



CITY OF YORK STANDARDS & REQUIREMENTS:

- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
 - LOTS 117-119
 - LOTS 127-130
 - LOTS 184-186; 291
 - LOTS 199-200; 274
 - LOTS 277-280
 - LOTS 350-353EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT SIDE FRONTAGE OF ALEXANDER LOVE HWY. THESE IMPROVEMENTS SHALL NOT BE REQUIRED UNTIL CONSTRUCTION OF THE COMMERCIAL DEVELOPMENT AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF EACH PARCEL IF DEVELOPED SEPARATELY. SIDEWALK ALONG INTERNAL ROADS SHALL BE BUILT WITH THE ROAD AND SHALL CONNECT TO EXISTING SIDEWALK ALONG ALEXANDER LOVE HIGHWAY, REGARDLESS OF TIMING OF COMMERCIAL DEVELOPMENT.
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY CITY COUNCIL.
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
- AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL, OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL
- ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
- ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
- ALL REQUIREMENTS OF THE CITY OF YORK FIRE AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
- A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
- THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.
- COMMERCIAL PARCELS SHALL COMPLY WITH HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS
- COMMERCIAL AND RESIDENTIAL PARCELS WITHIN 500' OF THE ALEXANDER LOVE HIGHWAY RIGHT OF WAY SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.

CONDITIONAL NOTES:

ARCHITECTURALS:

- EXTERIOR BUILDING MATERIALS MAY INCLUDE VINYL SIDING, FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. VINYL SHALL ONLY BE USED FOR SIDES AND REAR OF HOMES AND MUST BE UPGRADED FROM BUILDER GRADE TO STANDARD GRADE THICKNESS (0.044").
- FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
 - INTERNAL TOWN HOME UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY.
- NO SAME TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH DETACHED HOME SHALL BE NO LESS THAN 1,600 SQ.FT. MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,300 SQ. FT.
- MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 PITCH (18.4 DEGREES).

PERIMETER BUFFERS:

- PERIMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
- DEVELOPER MAY TEMPORARILY ENCR OACH INTO PERIMETER BUFFERYARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
 - COMMERCIAL FRONTAGE MAY BE DISTURBED AN RE-PLANTED
 - INTERNAL BUFFERS BETWEEN COMMERCIAL AND RESIDENTIAL USES MY BE DISTURBED AND RE-PLANTED
 - NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN
 - ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

STREETS:

- ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
- THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR PLANNED UNIT DEVELOPMENT.
- STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON
- ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
- STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.

COMMON AREAS:

- ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOs, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. ACTUAL IMPROVEMENTS SHALL BE DETERMINED DURING REVIEW OF THE PRELIMINARY PLAT/CONSTRUCTION DOCUMENTS.
- AMENITY AREA SHALL BE IMPROVED AND MAY CONTAIN POOL, CLUBHOUSE, SPORTS COURTS, AND/OR PLAYGROUNDS. ACTUAL IMPROVEMENTS SHALL BE DETERMINED DURING REVIEW OF THE PRELIMINARY PLAT/CONSTRUCTION DOCUMENTS.
- NATURAL SURFACE TRAILS SHALL BE MIN. 48-INCHES IN WIDTH.
- PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH.
- PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
- ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN. MAILBOXES FOR COMMERCIAL PARCELS SHALL BE SEPARATE AND WILL BE LOCATED ON THE COMMERCIAL PARCELS. ACTUAL LOCATION WILL BE DETERMINED WITH FINAL COMMERCIAL DESIGN.

ALLOWANCES:

- THE TOWNHOME UNITS MAY BE CONVERTED TO SINGLE FAMILY UPON REVIEW AND APPROVAL OF PRELIMINARY PLAT BY PLANNING COMMISSION.
- CONVERSION MAY REQUIRE MINOR REVISIONS TO STREET LAYOUTS WHICH SHALL BE SUBJECT TO PLANNING COMMISSION APPROVAL.
- OVERALL HOUSING DENSITY FOR THE DEVELOPMENT MAY NOT INCREASE DUE TO CONVERSION.

BUILDING HEIGHTS:

- MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

FENCING:

- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9

SPECIAL CONDITIONS:

CRICKET RUN EMERGENCY CONNECTION

- THE EMERGENCY ACCESS CONNECTION WILL BE SURFACED WITH ALTERNATIVE SURFACE MATERIALS IN-LIEU-OF STANDARD CITY ROAD CROSS SECTION. ALTERNATIVE DRIVING SURFACE SHALL BE NO MORE THAN 20-FT IN WIDTH AND MAY BE CONSTRUCTED OF GRASS PAVERS OR STONE SURFACE CAPABLE OF SUPPORTING AN 80,000LB VEHICLE (FIRE DEPARTMENT WATER TRUCK), AS DETERMINED BY THE CITY OF YORK.
- EMERGENCY ACCESS CONNECTION WILL BE DEDICATED IN A 50-FT COMBINED ACCESS AND UTILITY EASEMENT, DEDICATED TO THE CITY OF YORK. THIS EASEMENT MAY NOT BE CONVERTED TO A PUBLIC R/W PER ITEM #3 BELOW.
- THE DEVELOPER AND CITY OF YORK AGREE THAT A PETITION TO MAKE THE CRICKET RUN EMERGENCY ACCESS DRIVE INTO A PUBLIC ROAD MAY NOT BE APPLIED FOR NOR CONSIDERED FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF THE APPROVED REZONING. AFTER THE TEN (10) YEAR PERIOD, SUCH PETITION FOR PUBLIC ROAD CONNECTION SHALL BE DONE THROUGH A PUBLIC HEARING PROCESS AND SUBJECT TO APPROVAL BY CITY COUNCIL.
- EMERGENCY GATES MUST BE PROVIDED AT BOTH ENDS OF THE EMERGENCY ACCESS TO LIMIT OR ELIMINATE LOITERING OR CONGREGATION OF PEOPLE ON THE EMERGENCY ACCESS AND ONLY THE CITY OF YORK WILL HAVE ACCESS TO THE EMERGENCY GATES AND THE EMERGENCY GATE AT END OF THE EXISTING CRICKET RUN SHALL BE INSTALLED IMMEDIATELY UPON THE START OF CONSTRUCTION AND DEVELOPER SHALL NOT ACCESS THE PROPERTY THROUGH CRICKET RUN DURING THE CONSTRUCTION PROCESS. THE DEVELOPMENT SIDE EMERGENCY GATE SHALL BE INSTALLED PRIOR TO RECORDEATION OF THE FINAL PLAT FOR THAT AREA.

ADDITIONAL CONSIDERATIONS FOR TM#070-24-01-016 AND TM#070-34-01-036

- DEVELOPER AGREES TO PROVIDE SUPPLEMENTAL EVERGREEN PLANTS, SUBJECT TO AGREEMENT WITH EACH PROPERTY OWNER, FOR ANY BARE BUFFER AREAS ON EACH PARCEL OF LAND.
- EVERGREEN TREES WILL BE MIN. 6-8 FT. IN HEIGHT AT TIME OF PLANTING AND WILL BE SPACE NO CLOSER THAN 15-20 FT. O.C. AND NO GREATER THAN 40 FT. O.C.
- WHILE PLANTINGS MAY BE STAGGERED, DEVELOPER COMMITMENT WILL NOT BE REQUIRED TO BE MORE THAN AN EQUIVALENT SINGLE ROW OF TREES, SUBJECT TO SPACING NOTED ABOVE AND SUPPLEMENTAL PLANTINGS ARE FOR THOSE AREAS WITH DIRECT LINE OF SIGHT ISSUES AND NOT THOSE AREAS WHERE SUFFICIENT VEGETATION EXISTS.
- DEVELOPER AGREES TO HAVE PLANTS INSTALLED AT THE START OF CONSTRUCTION.
- DEVELOPER AGREES TO REPLACE THE EXISTING CULVERT (OR VERIFY IT'S CAPABILITY) IN THE UNNAMED TRIBUTARY OF FISHING CREEK THAT WILL SUPPORT THE EMERGENCY VEHICLE, TO "CARRY" THE 25-YEAR STORM EVENT. "CARRY" SHALL MEAN THAT THEORETICAL HYDRAULIC ANALYSIS DOES NOT OVERTOP THE DRIVING SURFACE FOR GIVEN STORM EVENT.

NATURAL BUFFERING BETWEEN PEBBLE CREEK & FERGUS CROSSROADS

- WHERE GRADING ACTIVITIES DISTURB WITHIN 50-FT OF THE PROPERTY LINES SHARED WITH PEBBLE CREEK (SITE GRADING AND STORMWATER MANAGEMENT POND CONSTRUCTION), EVERGREEN TREES (LOBLOLLY PINES OR EQUIVALENT FAST GROWTH EVERGREEN TREE) SHALL BE PLANTED AT 40-50 FT. INTERVALS ALONG THE DISTURBANCE LIMITS NEAREST PEBBLE CREEK (DOWNSTREAM EXTERIOR BERM OF STORMWATER MANAGEMENT PONDS).
- LINEAR, PUBLIC UTILITY CONSTRUCTION SUCH AS SEWER OUTFALLS WILL NOT BE REPLANTED UNLESS SUCH DISTURBANCE IS COMBINED WITH SITE GRADING AND THE CUMULATIVE EFFECT OF BOTH LINEAR UTILITY WORK AND SITE GRADING OPERATIONS ARE WITHIN 50-FT OF THE SHARED PROPERTY LINE.
- EVERGREEN TREES SHALL BE 6-8 FT. IN HEIGHT AT TIME OF PLANTING.

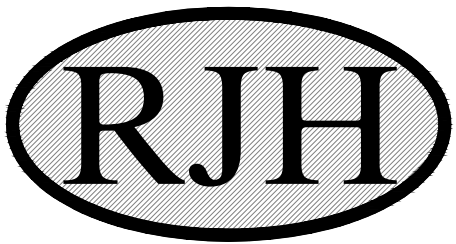
STORMWATER MANAGEMENT PONDS

- DEVELOPER AGREES TO PROVIDE A SINGLE, 12-BEDROOM PURPLE MARTIN HOUSE AT EACH STORMWATER MANAGEMENT POND LOCATION (ALL BMP LOCATIONS) MOUNTED NO LESS THAN 10-FT ABOVE GRADE.
- PURPLE MARTIN HOUSES WILL BE INSTALLED UPON CONVERSION OF STORMWATER MANAGEMENT PONDS TO ITS FINAL GRADE AND CONDITION (AFTER EROSION CONTROL PHASES).

DATE	ISSUED FOR	REV
7/31/20	Submittal to City	0
8/20/20	Revised per City Comments	1
11/6/20	Revised per Agreement w/Adj Property Owners	2



Engineer:



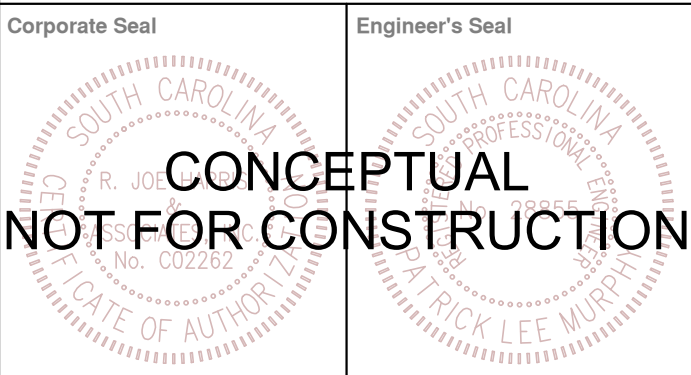
R. Joe Harris & Associates, Inc.

Engineering • Land Surveying • Planning
Management

1186 Stonemont Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799 F: (803) 802-6886

www.rjoe Harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.



Project Manager B. Pridemore	Drawn J. Murdock
Department Manager P. Murphy	Checked B. Pridemore

Print/Plot Date

November 6, 2020

Client

SOUTH FORK VENTURES, LLC
3712 RIVERGRASS LANE
YORK, SOUTH CAROLINA 29745
P: 704-254-3137

Project:

**FERGUS CROSSROADS
PLANNED UNIT DEVELOPMENT**

Drawing Title:

**REZONING MASTER PLAN
PUD Rezoning Plan**

Project No. 4223-Sinyard PUD Rezoning DWG File Name: 4223-Sinyard PUD Rezoning	Drawing No. PUD-2
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PURPLE MARTIN HOUSES

- 1. A SINGLE, 12-BEDROOM PURPLE MARTIN HOUSE MOUNTED A MIN. OF 10-FT ABOVE GRADE SHALL BE PROVIDED AT EACH STORMWATER MANAGEMENT POND.
- 2. PURPLE MARTIN HOUSES SHALL BE CONSTRUCTED OF ALUMINUM OR OTHER DURABLE MATERIAL.
- 3. SUPPLIERS INCLUDE BESTNEST.COM.



10-INCH THICK COMPACTED AGGREGATE BASE COURSE WITH WOVEN GEOTEXTILE FABRIC INSTALLED BETWEEN SUBGRADE AND AGGREGATE BASE COURSE (ABC)



CONCRETE GRASS PAVERS SET ON MIN. 6-INCHES COMPACTED AGGREGATE BASE COURSE

EMERGENCY ACCESS DRIVE - ALTERNATE MATERIALS

- 1. EMERGENCY ACCESS DRIVE SHALL BE NO GREATER THAN 20-FT IN WIDTH
- 2. ALTERNATE SURFACE MATERIAL SELECTION AS DIRECTED BY THE CITY OF YORK
- 3. EMERGENCY ACCESS GATES TO BE PROVIDED ON EACH END OF EMERGENCY ACCESS DRIVE

DATE

ISSUED FOR

REV

7/31/20

Submittal to City

0

8/20/20

Revised per City Comments

1

11/6/20

Revised per Agreement w/Adj Property Owners

2

PUPS
COUNTY UTILITY PROTECTION SERVICES INC.

811
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Engineer:

RJH

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Corporate Seal

Engineer's Seal

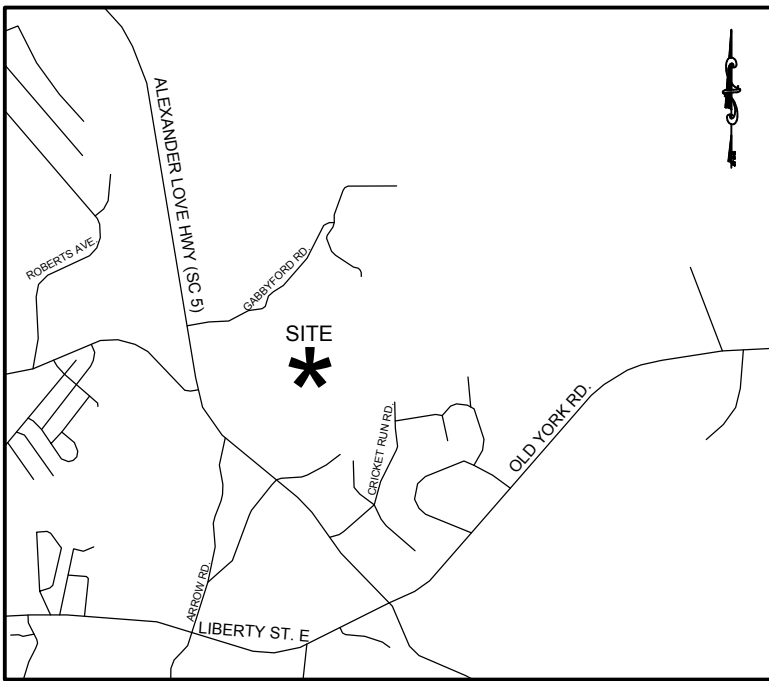
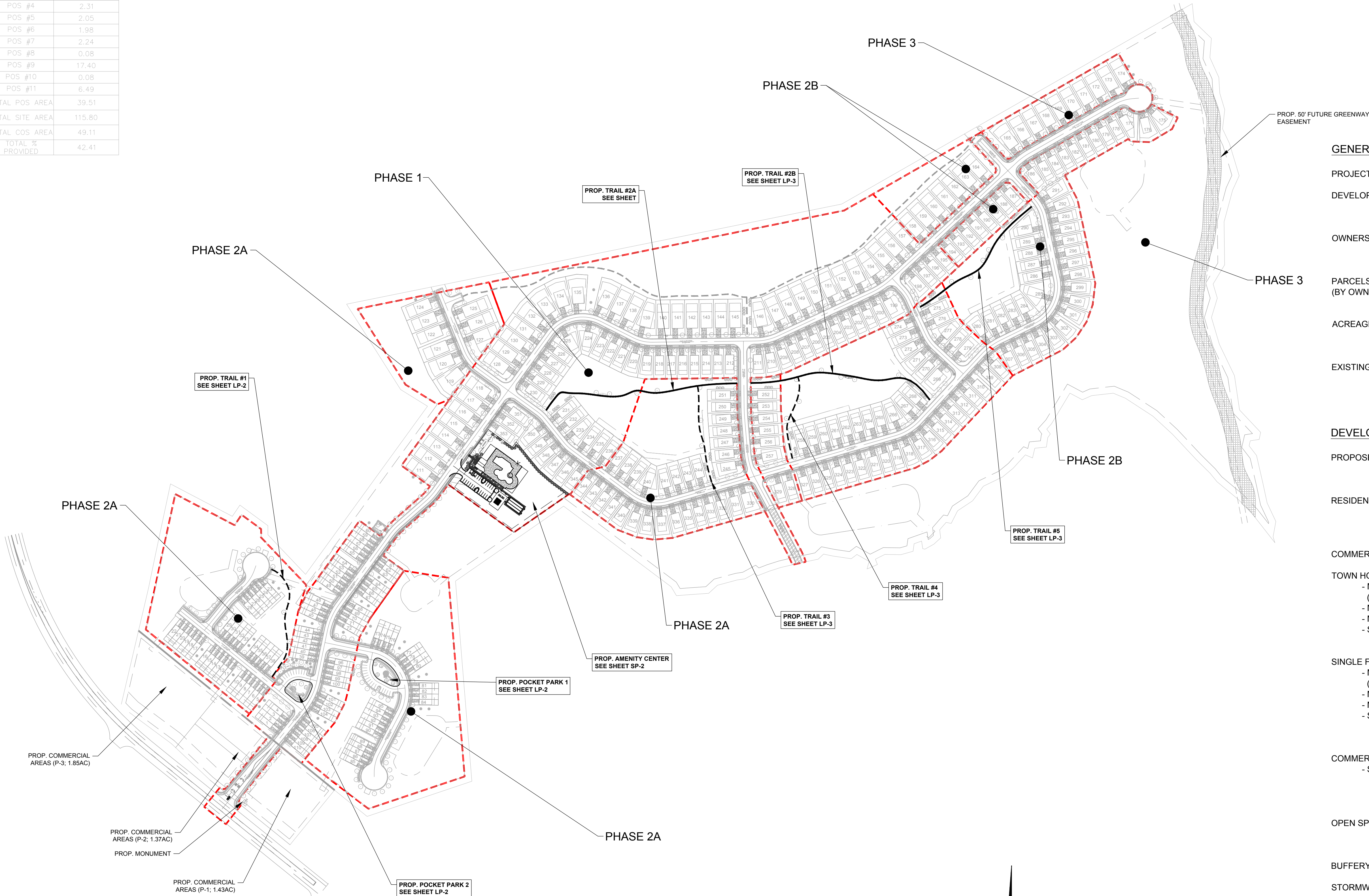
R. JOE HARRIS
PROFESSIONAL ENGINEER
STATE OF SOUTH CAROLINA
LICENSE NO. 34822
EXPIRATION DATE 12/31/2024

PATRICK LEE MURPHY
PROFESSIONAL ENGINEER
STATE OF SOUTH CAROLINA
LICENSE NO. 34822
EXPIRATION DATE 12/31/2024

CONCEPTUAL
NOT FOR CONSTRUCTION

Project Manager	Drawn
B. Pridemore	J. Murdock
Department Manager	Checked
P. Murphy	B. Pridemore
Print/Plot Date	
November 6, 2020	
Client	
SOUTH FORK VENTURES, LLC 3712 RIVERGRASS LANE YORK, SOUTH CAROLINA 29745 P: 704-254-3137	
Project:	
FERGUS CROSSROADS PLANNED UNIT DEVELOPMENT	
Drawing Title:	
REZONING MASTER PLAN PUD Rezoning Plan	
Project No.	Drawing No.
4223-Sinyard PUD Rezoning	
DWG File Name:	
4223-Sinyard PUD Rezoning	PUD-3

PARCEL AREA TABLE	
PARCEL #	AREA (ACRE)
AOS #1	0.08
AOS #2	0.10
AOS #3	1.94
AOS #4	3.41
AOS #5	2.63
AOS #6	1.44
TOTAL AOS AREA	9.60
POS #1	3.12
POS #2	1.36
POS #3	2.40
POS #4	2.31
POS #5	2.05
POS #6	1.98
POS #7	2.24
POS #8	0.08
POS #9	17.40
POS #10	0.08
POS #11	6.49
TOTAL POS AREA	39.51
TOTAL SITE AREA	115.80
TOTAL COS AREA	49.11
TOTAL % PROVIDED	42.41



GENERAL INFORMATION:

PROJECT: FERGUS CROSSROADS

DEVELOPER: HOPPER COMMUNITIES
1616 CLEVELAND AVENUE
CHARLOTTE, NORTH CAROLINA 28203

OWNERS: (1) SRAM1 LLC
(2) RICHARD WILLIAM WALLISER
(3) SINYARD GORDON L ETAL

PARCELS: (1) 348-00-00-006, -007, -008, -009, -010, -016
(BY OWNER) (2) 348-00-00-015, -019, -020
(3) 395-00-00-005

ACREAGE: 110.80 ACRES± (RESIDENTIAL)
5.00 ACRES± (COMMERCIAL)
115.80 ACRES± (TOTAL)

EXISTING ZONING: PLANNED UNIT DEVELOPMENT

DEVELOPMENT INFORMATION:

PROPOSED USE: PLANNED UNIT DEVELOPMENT TO INCLUDE TOWN HOMES, SINGLE FAMILY DETACHED, AND COMMERCIAL

RESIDENTIAL UNITS: 110 - TOWN HOMES
64 - SINGLE FAMILY DETACHED (53' WIDE)
179 - SINGLE FAMILY DETACHED (43' WIDE)
353 - TOTAL LOTS (3.19 UNITS/ACRE)

COMMERCIAL: 3 OUT PARCELS

TOWN HOMES:
- MIN. LOT WIDTH: 20 FT.
(AT FRONT S.B.)
- MIN. LOT DEPTH: 95 FT.
- MIN. LOT SIZE: 1,995 FT.
- SETBACKS/YARDS: FRONT - 25 FT.
REAR - 15 FT.
BETWEEN DETACHED UNITS - 15 FT.

SINGLE FAMILY DETACHED:
- MIN. LOT WIDTH: 43 FT.
(AT FRONT S.B.)
- MIN. LOT DEPTH: 110 FT.
- MIN. LOT SIZE: 4,730 FT.
- SETBACKS/YARDS: FRONT - 25 FT.
CORNER - 10 FT.
SIDE - 6 FT.
REAR - 15 FT.

COMMERCIAL:
- SETBACKS/YARDS: FRONT - 50 FT.
SIDE (EXTERIOR) - 15 FT.
SIDE (INTERIOR) - 0 FT.
REAR - 15 FT.

OPEN SPACE: REQUIRED - 28.95 ACRES± (25%)
PROPOSED - 53.33 ACRES± (46%)
(9.46 ACRES OF ACTIVE OPEN SPACE)

BUFFERYARDS: AS DEPICTED ON PLAN

STORMWATER: STORM DRAIN SYSTEM DESIGNED FOR 10-YEAR STORM DETENTION FOR 2 & 10-YEAR STORM EVENTS

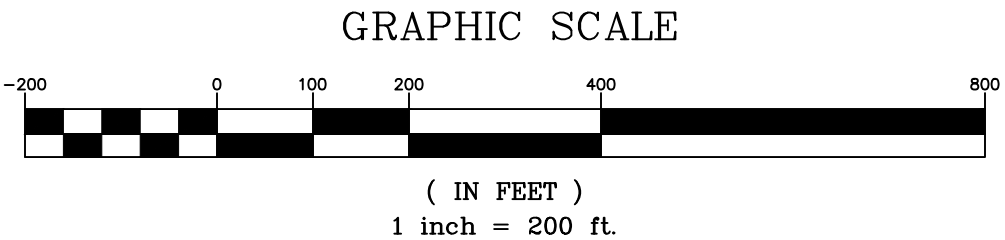
STREETS: 22 FT. PAVED ROADS W/2FT VALLEY CURB
(26 FT. PAVED ROAD W/ 2 FT. VALLEY CURB FOR CUL-DE-SAC(S) OVER 500'
MIN. CENTERLINE RADIUS OF 150 FT.
5' SIDEWALK ON 1-SIDE OF EACH STREET

R. JOE HARRIS & ASSOCIATES, INC HAVE PERFORMED A BOUNDARY SURVEY FROM ALTA/NSPS, PERFORMED ON JANUARY 12, 2021.

TOPOGRAPHIC INFORMATION SHOWN IS 2019 GIS TOPOGRAPHY FOR YORK COUNTY AND SHOWN AT ONE (1) FOOT CONTOUR INTERVALS. ACCURACY OF THIS INFORMATION HAS NOT BEEN VERIFIED.

PORTION OF THE PROPERTY IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS DEPICTED ON FEMA/FIRM PANEL 4509/10277E WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008. FLOOD BOUNDARIES TAKEN FROM FEMA WEBSITE.

NOTE:
THE DEVELOPER SHALL BE RESPONSIBLE FOR COST OF CONVERTING THE EMERGENCY ACCESS ON CRICKET RUN TO A PAVED STREET (TYPE DETERMINED BY THE CITY OF YORK). THE AMOUNT SHALL BE POSTED AS PART OF THE FINAL PLAT APPROVAL AS AN EMERGENCY ACCESS IMPROVEMENT FOR CRICKET RUN ROAD, IN THE CASE THAT CITY OF YORK DOES NOT CONVERT THE EMERGENCY ACCESS TO A PUBLIC ROAD WITHIN TEN (10) YEARS, THE CITY OF YORK SHALL CONVERT THOSE MONIES FOR USE IN THE CITY OF YORK'S GENERAL FUND, IT WILL NOT BE REIMBURSED TO THE DEVELOPER.



ANY AREAS OF DISTURBANCE LOCATED WITHIN THE 30' STREAM BUFFER/WETLAND BUFFERS ARE TO BE STABILIZED IMMEDIATELY AFTER THEY ARE BROUGHT TO FINISHED GRADE, INCLUDING ANY MATTING THAT MAY BE PROPOSED ON STEEP SLOPES.

NO DISTURBANCES SHALL BE ALLOWED TO STREAMS OR WETLANDS UNTIL ALL REQUIRED PERMITS HAVE BEEN RECEIVED FROM USACOE. IF WORK BEGINS BEFORE PERMITS HAVE BEEN RECEIVED, CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES TO ENSURE STREAM/WETLAND PROTECTION UNTIL PERMITS ARE OBTAINED.

DATE	ISSUED FOR	REV
12/24/2021	Initial Submittal to City of York & SCDHEC	0
01/20/2022	Second Submittal to City of York & SCDHEC	1

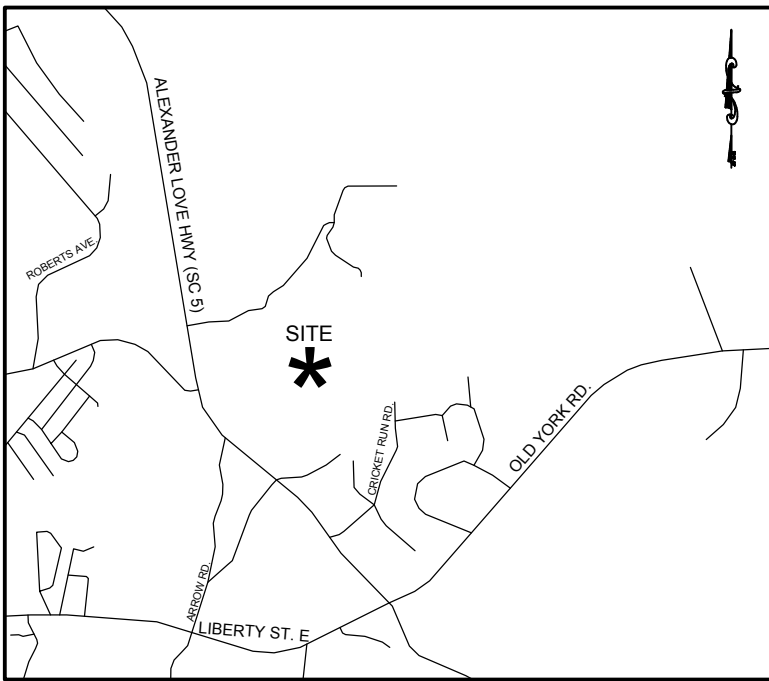
Engineer:

R. Joe Harris & Associates, Inc.
Engineering • Land Surveying • Planning
Management
1186 Somcrest Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799

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Project Manager C. Bridges	Drawn A. Gendelman
Department Manager P. Murphy	Checked C. Bridges
Print/Plot Date January 20, 2022	
Asbuilt Drawn -	Asbuilt Date -
Client Hopper Communities 1616 CLEVELAND AVENUE CHARLOTTE, NC 28203 P: (704)649-3097	
Project: Fergus Crossing Amenity	
Drawing Title: Overall Site Plan	
Project No. 4945 DWG File Name: 4945 - Amenity Site	Drawing No. SP-1



VICINITY MAP - N.T.S.

Development Information:

Project Name: Fergus Crossing Amenity
York County, South Carolina

Site Acreage: ±1.94 AC

Zoning: PUD
Setbacks/Yards: Front - 25 LF
Rear - 15 LF
Side - 6 LF
- 10 (Corner)

Land Use: Proposed: Residential Amenity Center

Street Frontage: 250 LF (Off Court House Avenue)

Parking Required: Required Parking - Min. 12-15*
Provided Parking - 23 Spaces (includes handicap spaces)

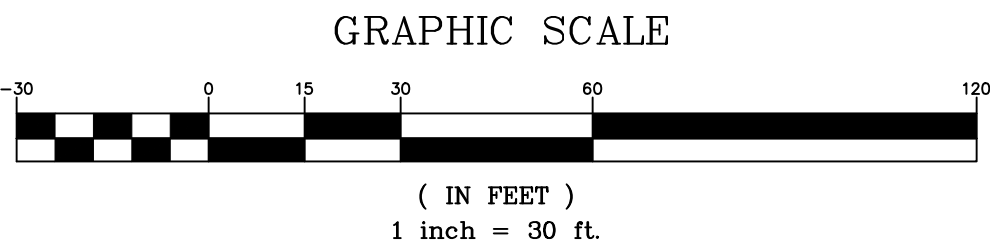
Handicap Parking Required: 2 Spaces (For 26 to 50 Spaces)
(*1 Van Accessible)
2 Spaces Provided

*Stated on C1.10 of approved construction plans



NOTE: MATERIAL FOR AMENITY STRUCTURES WILL COMPLY WITH THE SAME DESIGN REQUIREMENTS AS THE REST OF THE COMMUNITY.

R. JOE HARRIS & ASSOCIATES, INC HAVE PERFORMED A BOUNDARY SURVEY FROM ALTA/NSPS, PERFORMED ON JANUARY 12, 2021.
TOPOGRAPHIC INFORMATION SHOWN IS 2019 GIS TOPOGRAPHY FOR YORK COUNTY AND SHOWN AT ONE (1) FOOT CONTOUR INTERVALS. ACCURACY OF THIS INFORMATION HAS NOT BEEN VERIFIED.
PORTION OF THE PROPERTY IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS DEPICTED ON FEMA/FIRM PANEL 45091C0277E WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008. FLOOD BOUNDARIES TAKEN FROM FEMA WEBSITE.



DATE	ISSUED FOR	REV
12/24/2021	Initial Submittal to City of York & SCDHEC	0
01/20/2022	Second Submittal to City of York & SCDHEC	1

Engineer:

R. Joe Harris & Associates, Inc.
Engineering • Land Surveying • Planning Management
1186 Sumcrest Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799

www.rjoe-harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal	Engineer's Seal

Project Manager	Drawn
C. Bridges	A. Gendelman
Department Manager	Checked
P. Murphy	C. Bridges
Print/Plot Date	
January 20, 2022	
Asbuilt Drawn	Asbuilt Date
-	-
Client	
Hopper Communities 1616 CLEVELAND AVENUE CHARLOTTE, NC 28203 P: (704)649-3097	
Project:	
Fergus Crossing Amenity	
Drawing Title:	
Amenity Site Plan	
Project No.	Drawing No.
4945	
DWG File Name:	
4945 - Amenity Site	

SP-2

CITY OF YORK STANDARDS & REQUIREMENTS:

1.

ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
2.

THE STREETSCLAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
3.

SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:

- LOTS 117-119

- LOTS 127-130

- LOTS 184-186; 291

- LOTS 199-200; 274

- LOTS 277-280

- LOTS 350-353
- EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
4.

STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT SIDE FRONTAGE OF ALEXANDER LOVE HWY. THESE IMPROVEMENTS SHALL NOT BE REQUIRED UNTIL CONSTRUCTION OF THE COMMERCIAL DEVELOPMENT AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF EACH PARCEL IF DEVELOPED SEPARATELY. SIDEWALK ALONG INTERNAL ROADS SHALL BE BUILT WITH THE ROAD AND SHALL CONNECT TO EXISTING SIDEWALK ALONG ALEXANDER LOVE HIGHWAY, REGARDLESS OF TIMING OF COMMERCIAL DEVELOPMENT.
5.

WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
6.

IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
7.

ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
8.

COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
9.

OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY CITY COUNCIL.
10.

OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
11.

DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
12.

AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
13.

VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL. OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS. OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL.
14.

ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
15.

ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
16.

ALL REQUIREMENTS OF THE CITY OF YORK FIRE AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
17.

A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
18.

THE SUBDIVISION NAME AND STREET NAMES HAVE BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION.
19.

COMMERCIAL PARCELS SHALL COMPLY WITH HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS
20.

COMMERCIAL AND RESIDENTIAL PARCELS WITHIN 500' OF THE ALEXANDER LOVE HIGHWAY RIGHT OF WAY SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.

CONDITIONAL NOTES:

ARCHITECTURALS:

1.

EXTERIOR BUILDING MATERIALS MAY INCLUDE VINYL SIDING, FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. VINYL SHALL ONLY BE USED FOR SIDES AND REAR OF HOMES AND MUST BE UPGRADED FROM BUILDER GRADE TO STANDARD GRADE THICKNESS (0.044").
2.

FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).

- INTERNAL TOWN HOME UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY.
3.

NO SAME TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
4.

A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
5.

MINIMUM HEATED SQUARE FOOTAGE FOR EACH DETACHED HOME SHALL BE NO LESS THAN 1,600 SQ.FT. MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,300 SQ. FT.
6.

MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 PITCH (18.4 DEGREES).

PERIMETER BUFFERS:

1.

PERIMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
2.

DEVELOPER MAY TEMPORARILY ENCROACH INTO PERIMETER BUFFERYARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:

- COMMERCIAL FRONTAGE MAY BE DISTURBED AND RE-PLANTED

- INTERNAL BUFFERS BETWEEN COMMERCIAL AND RESIDENTIAL USES MAY BE DISTURBED AND RE-PLANTED

- NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN

- ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

STREETS:

1.

ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
2.

THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR PLANNED UNIT DEVELOPMENT.
3.

STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON
4.

ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
5.

STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.

COMMON AREAS:

1.

ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOS, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. AMENITY AREA SHALL BE IMPROVED AND WILL CONTAIN A 2400 SF CABANA, 4200 SF POOL, AND A MINIMUM OF 12-15 PARKING SPACES. PLEASE SEE SHEET C1.10 (AMENITY SCHEDULE) FOR THE BUILDING OF THE CABANA/POOL SCHEDULE.
2.

NATURAL SURFACE TRAILS SHALL BE MIN. 48-INCHES IN WIDTH, AND MADE OF MULCH, GRAVEL, STONE, OR OTHER NATURAL SURFACE MATERIAL..
3.

PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH, AND MADE OF PAVEMENT OR CONCRETE.
4.

PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL..
5.

ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
6.

COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN. MAILBOXES FOR COMMERCIAL PARCELS SHALL BE SEPARATE AND WILL BE LOCATED ON THE COMMERCIAL PARCELS. ACTUAL LOCATION WILL BE DETERMINED WITH FINAL COMMERCIAL DESIGN.

ALLOWANCES:

1.

THE TOWNHOME UNITS MAY BE CONVERTED TO SINGLE FAMILY UPON REVIEW AND APPROVAL OF PRELIMINARY PLAT BY PLANNING COMMISSION.
2.

CONVERSION MAY REQUIRE MINOR REVISIONS TO STREET LAYOUTS WHICH SHALL BE SUBJECT TO PLANNING COMMISSION APPROVAL.
3.

OVERALL HOUSING DENSITY FOR THE DEVELOPMENT MAY NOT INCREASE DUE TO CONVERSION.

BUILDING HEIGHTS:

1.

MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

FENCING:

1.

ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9

SPECIAL CONDITIONS:

CRICKET RUN EMERGENCY CONNECTION

1.

THE EMERGENCY ACCESS CONNECTION WILL BE SURFACED WITH ALTERNATIVE SURFACE MATERIALS IN-LIEU-OF STANDARD CITY ROAD CROSS SECTION. ALTERNATIVE DRIVING SURFACE SHALL BE NO MORE THAN 20-FT IN WIDTH AND MAY BE CONSTRUCTED OF GRASS PAVERS OR STONE SURFACE CAPABLE OF SUPPORTING AN 80,000LB VEHICLE (FIRE DEPARTMENT WATER TRUCK), AS DETERMINED BY THE CITY OF YORK.
2.

EMERGENCY ACCESS CONNECTION WILL BE DEDICATED IN A 50-FT COMBINED ACCESS AND UTILITY EASEMENT, DEDICATED TO THE CITY OF YORK. THIS EASEMENT MAY NOT BE CONVERTED TO A PUBLIC R/W PER ITEM #3 BELOW.
3.

THE DEVELOPER AND CITY OF YORK AGREE THAT A PETITION TO MAKE THE CRICKET RUN EMERGENCY ACCESS DRIVE INTO A PUBLIC ROAD MAY NOT BE APPLIED FOR NOR CONSIDERED FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF THE APPROVED REZONING. AFTER THE TEN (10) YEAR PERIOD, SUCH PETITION FOR PUBLIC ROAD CONNECTION SHALL BE DONE THROUGH A PUBLIC HEARING PROCESS AND SUBJECT TO APPROVAL BY CITY COUNCIL.
4.

EMERGENCY GATES MUST BE PROVIDED AT BOTH ENDS OF THE EMERGENCY ACCESS TO LIMIT OR ELIMINATE LOITERING OR CONGREGATION OF PEOPLE ON THE EMERGENCY ACCESS AND ONLY THE CITY OF YORK WILL HAVE ACCESS TO THE EMERGENCY GATES AND THE EMERGENCY GATE AT END OF THE EXISTING CRICKET RUN SHALL BE INSTALLED IMMEDIATELY UPON THE START OF CONSTRUCTION AND DEVELOPER SHALL NOT ACCESS THE PROPERTY THROUGH CRICKET RUN DURING THE CONSTRUCTION PROCESS. THE DEVELOPMENT SIDE EMERGENCY GATE SHALL BE INSTALLED PRIOR TO RECORDATION OF THE FINAL PLAT FOR THAT AREA.

ADDITIONAL CONSIDERATIONS FOR TM#070-24-01-016 AND TM#070-34-01-036

1.

DEVELOPER AGREES TO PROVIDE SUPPLEMENTAL EVERGREEN PLANTS, SUBJECT TO AGREEMENT WITH EACH PROPERTY OWNER, FOR ANY BARE BUFFER AREAS ON EACH PARCEL OF LAND.
2.

EVERGREEN TREES WILL BE MIN. 6-8 FT. IN HEIGHT AT TIME OF PLANTING AND WILL BE SPACE NO CLOSER THAN 15-20 FT. O.C. AND NO GREATER THAN 40 FT. O.C.
3.

WHILE PLANTINGS MAY BE STAGGERED, DEVELOPER COMMITMENT WILL NOT BE REQUIRED TO BE MORE THAN AN EQUIVALENT SINGLE ROW OF TREES, SUBJECT TO SPACING NOTED ABOVE AND SUPPLEMENTAL PLANTINGS ARE FOR THOSE AREAS WITH DIRECT LINE OF SIGHT ISSUES AND NOT THOSE AREAS WHERE SUFFICIENT VEGETATION EXISTS.
4.

DEVELOPER AGREES TO HAVE PLANTS INSTALLED AT THE START OF CONSTRUCTION.
5.

DEVELOPER AGREES TO REPLACE THE EXISTING CULVERT (OR VERIFY IT'S CAPABILITY) IN THE UNNAMED TRIBUTARY OF FISHING CREEK THAT WILL SUPPORT THE EMERGENCY VEHICLE, TO "CARRY" THE 25-YEAR STORM EVENT. "CARRY" SHALL MEAN THAT THEORETICAL HYDRAULIC ANALYSIS DOES NOT OVERTOP THE DRIVING SURFACE FOR GIVEN STORM EVENT.

NATURAL BUFFERING BETWEEN PEBBLE CREEK & FERGUS CROSSROADS

1.

WHERE GRADING ACTIVITIES DISTURB WITHIN 50-FT OF THE PROPERTY LINES SHARED WITH PEBBLE CREEK (SITE GRADING AND STORMWATER MANAGEMENT POND CONSTRUCTION), EVERGREEN TREES (LOBLOLLY PINES OR EQUIVALENT FAST GROWTH EVERGREEN TREE) SHALL BE PLANTED AT 40-50 FT. INTERVALS ALONG THE DISTURBANCE LIMITS NEAREST PEBBLE CREEK (DOWNSTREAM EXTERIOR BERM OF STORMWATER MANAGEMENT PONDS).
2.

LINEAR, PUBLIC UTILITY CONSTRUCTION SUCH AS SEWER OUTFALLS WILL NOT BE REPLANTED UNLESS SUCH DISTURBANCE IS COMBINED WITH SITE GRADING AND THE CUMULATIVE EFFECT OF BOTH LINEAR UTILITY WORK AND SITE GRADING OPERATIONS ARE WITHIN 50-FT OF THE SHARED PROPERTY LINE.
3.

EVERGREEN TREES SHALL BE 6-8 FT. IN HEIGHT AT TIME OF PLANTING.

STORMWATER MANAGEMENT PONDS

1.

DEVELOPER AGREES TO PROVIDE A SINGLE, 12-BEDROOM PURPLE MARTIN HOUSE AT EACH STORMWATER MANAGEMENT POND LOCATION (ALL BMP LOCATIONS) MOUNTED NO LESS THAN 10-FT ABOVE GRADE.
2.

PURPLE MARTIN HOUSES WILL BE INSTALLED UPON CONVERSION OF STORMWATER MANAGEMENT PONDS TO ITS FINAL GRADE AND CONDITION (AFTER EROSION CONTROL PHASES).

CITY OF YORK STANDARDS & REQUIREMENTS:

1.

A SINGLE, 12-BEDROOM PURPLE MARIN HOUSE MOUNTED A MIN. OF 10-FT ABOVE GRADE SHALL BE PROVIDED AT EACH STORMWATER MANAGEMENT POND.
2.

PURPLE MARTIN HOUSES SHALL BE CONSTRUCTED OF ALUMINUM OR OTHER DURABLE MATERIAL.
3.

SUPPLIERS INCLUDE BESTNEST.COM

2018 INTERNATIONAL FIRE CODE 503

FIRE APPARATUS ACCESS ROAD GATES. GATES SECURING THE FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

1.

WHERE A SINGLE GATE IS PROVIDED, THE GATE WIDTH SHALL BE NOT LESS THAN 20 FEET (6096 MM). WHERE A FIRE APPARATUS ROAD CONSISTS OF A DIVIDED ROADWAY, THE GATE WIDTH SHALL BE NOT LESS THAN 12 FEET (3658 MM).
2.

GATES SHALL BE OF THE SWINGING OR SLIDING TYPE.
3.

CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON.
4.

GATE COMPONENTS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE.
5.

*ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
6.

METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL (PLANS ARE INDICATING KNOX BOX). SHALL VERIFY THAT A KNOX BOX WILL BE INSTALLED ON EACH GATE OR A KNOX PADLOCK INSTALLED FOR EACH GATE.
7.

*ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
8.

*GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.
9.

NO PARKING - FIRE LANE SIGNS COMPLYING WITH THE 2018 INTERNATIONAL FIRE CODE, SECTION 503.3 MUST BE INSTALLED FOR THE CRICKET RUN ROAD FIRE APPARATUS ACCESS ON BOTH ENDS.

*NOTE: NOTES 5.7, & 8 SHALL NOT APPLY AS PROPOSED GATES SHALL BE INSTALLED WITH MANUAL OPERATION INCLUDING AN APPROVED METHOD OF LOCKING.

AMENITY SCHEDULE

1.

PHASING SHALL BE PER ATTACHED PHASING PLAN (SHEET C1.01)
2.

PHASE 1 MAY BE RECORDED PRIOR TO THE BUILD OF THE CENTRAL AMENITY (CABANA AND POOL)
3.

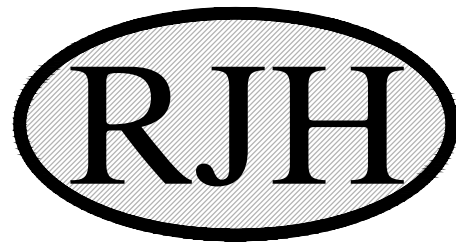
THE CENTRAL AMENITY (CABANA/POOL) SHALL BE BUILT PRIOR TO RECORDATION OF PHASE 2B OR
THE CENTRAL AMENITY (CABANA/POOL) MUST BE GUARANTEED WITH A LETTER OF CREDIT AT 150% OF THE ESTIMATED CONSTRUCTION VALUE AS CERTIFIED BY AN ENGINEER PRIOR TO THE RECORDATION OF PHASE 2B.
4.

THE CENTRAL AMENITY (CABANA/POOL) MUST BUILT PRIOR TO RECORDATION OF PHASE 3.

DATE	ISSUED FOR	REV
12/24/2021	Initial Submittal to City of York & SCDHEC	0
01/20/2022	Second Submittal to City of York & SCDHEC	1



Engineer:



R. Joe Harris & Associates, Inc.

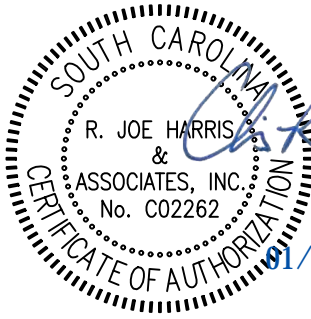
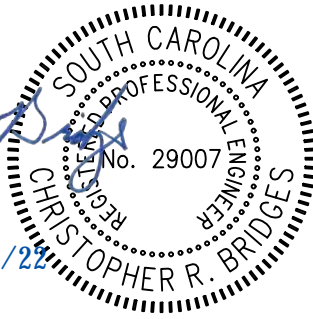
Engineering • Land Surveying • Planning
Management

1186 Stonemort Blvd., Tega Cay, S.C. 29708

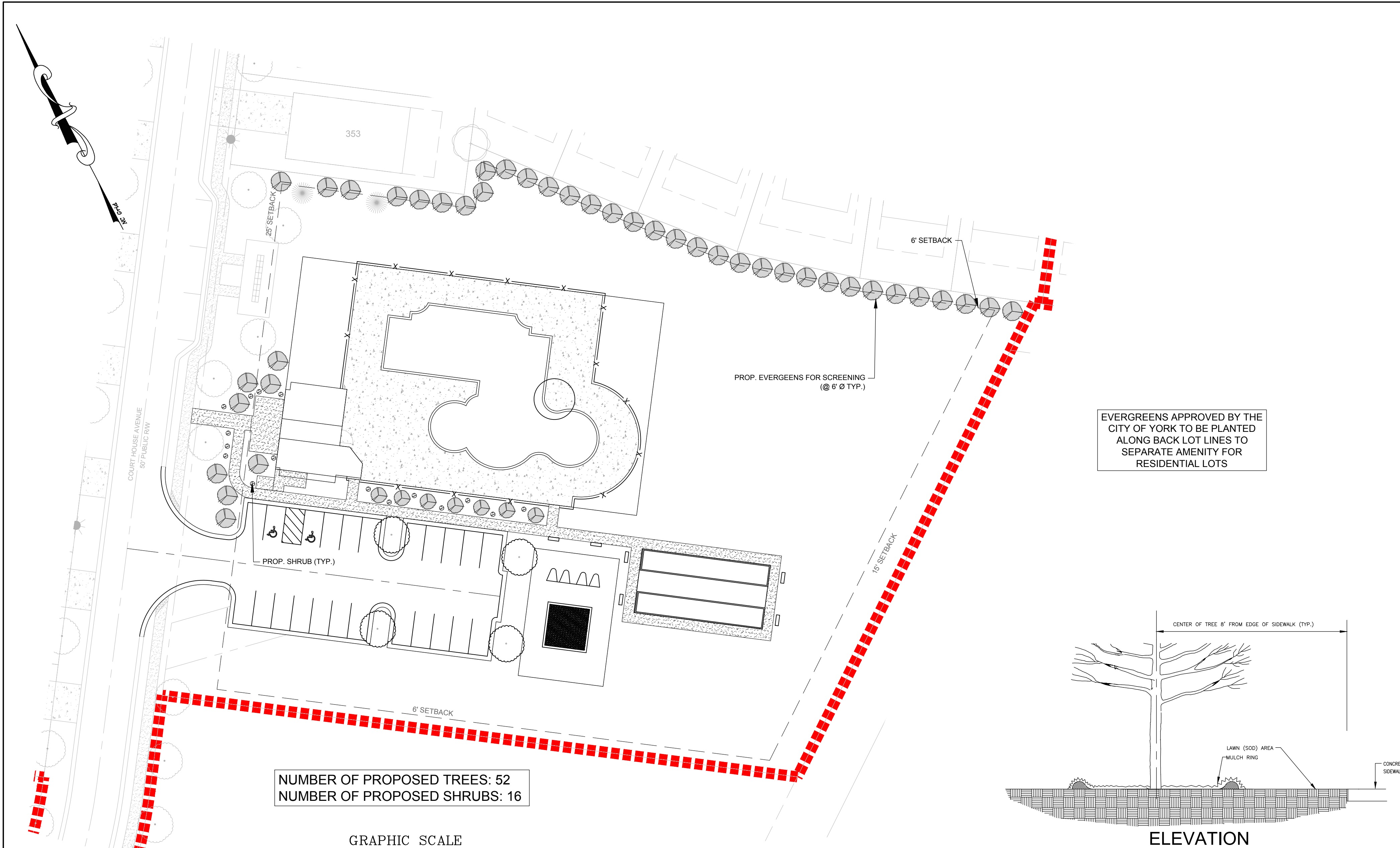
P: (803) 802-1799

www.rjoe Harris.com

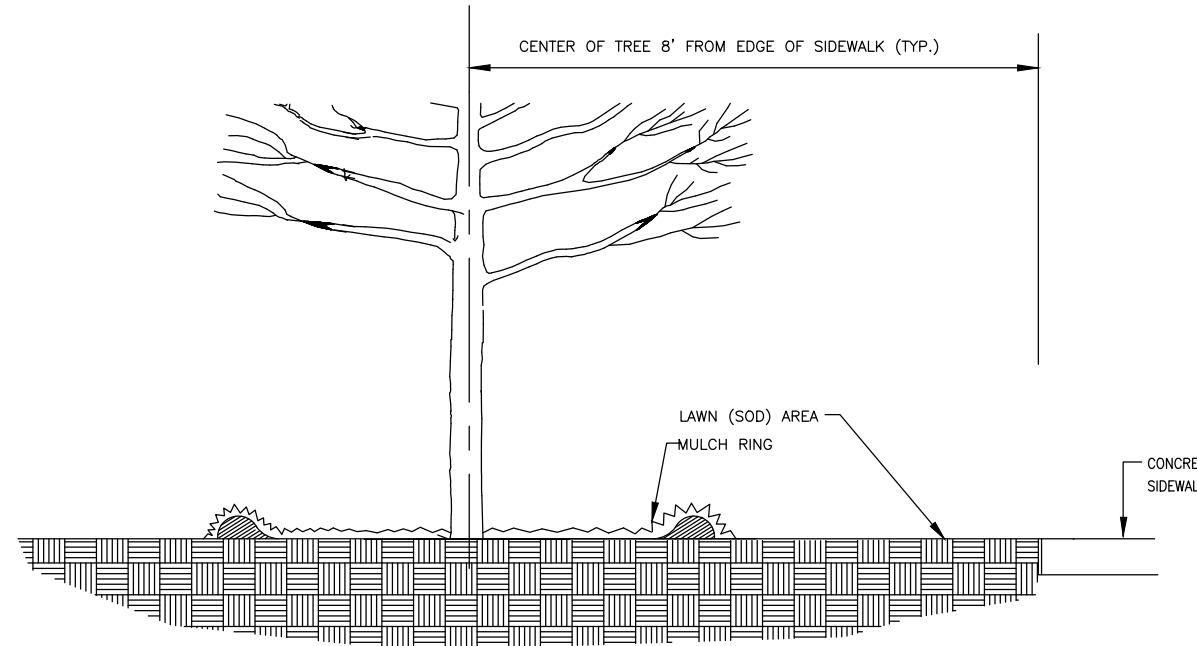
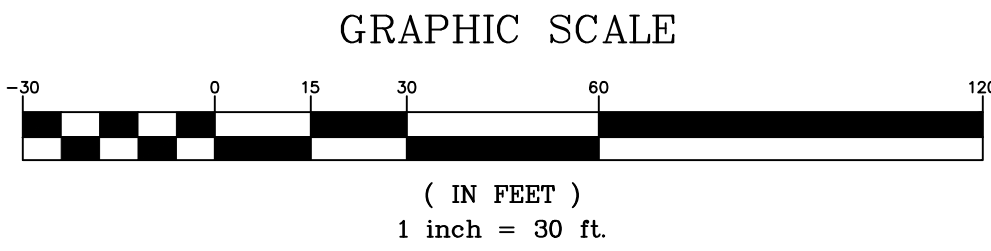
This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

Corporate Seal	Engineer's Seal
	

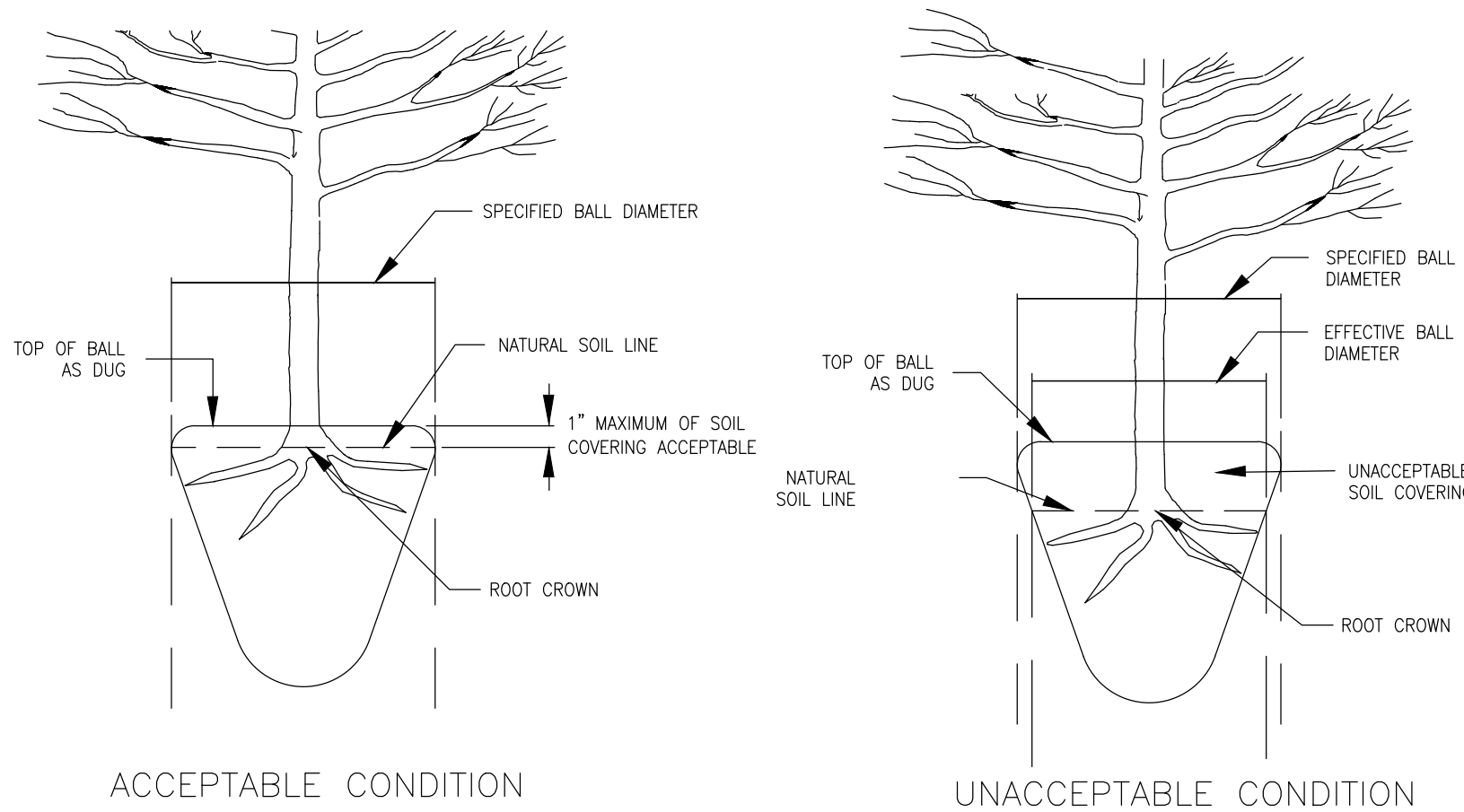
Project Manager	Drawn
C. Bridges	A. Gendelman
Department Manager	Checked
P. Murphy	C. Bridges
Print/Plot Date	
January 20, 2022	
Asbuilt Drawn	Asbuilt Date
-	-
Client	
Hopper Communities 1616 CLEVELAND AVENUE CHARLOTTE, NC 28203 P: (704)649-3097	
Project:	
Fergus Crossing Amenity	
Drawing Title:	
Site Notes	
Project No.	Drawing No.
4945	
DWG File Name:	
4945 - Amenity Site	SP-4



NUMBER OF PROPOSED TREES: 52
NUMBER OF PROPOSED SHRUBS: 16



ELEVATION



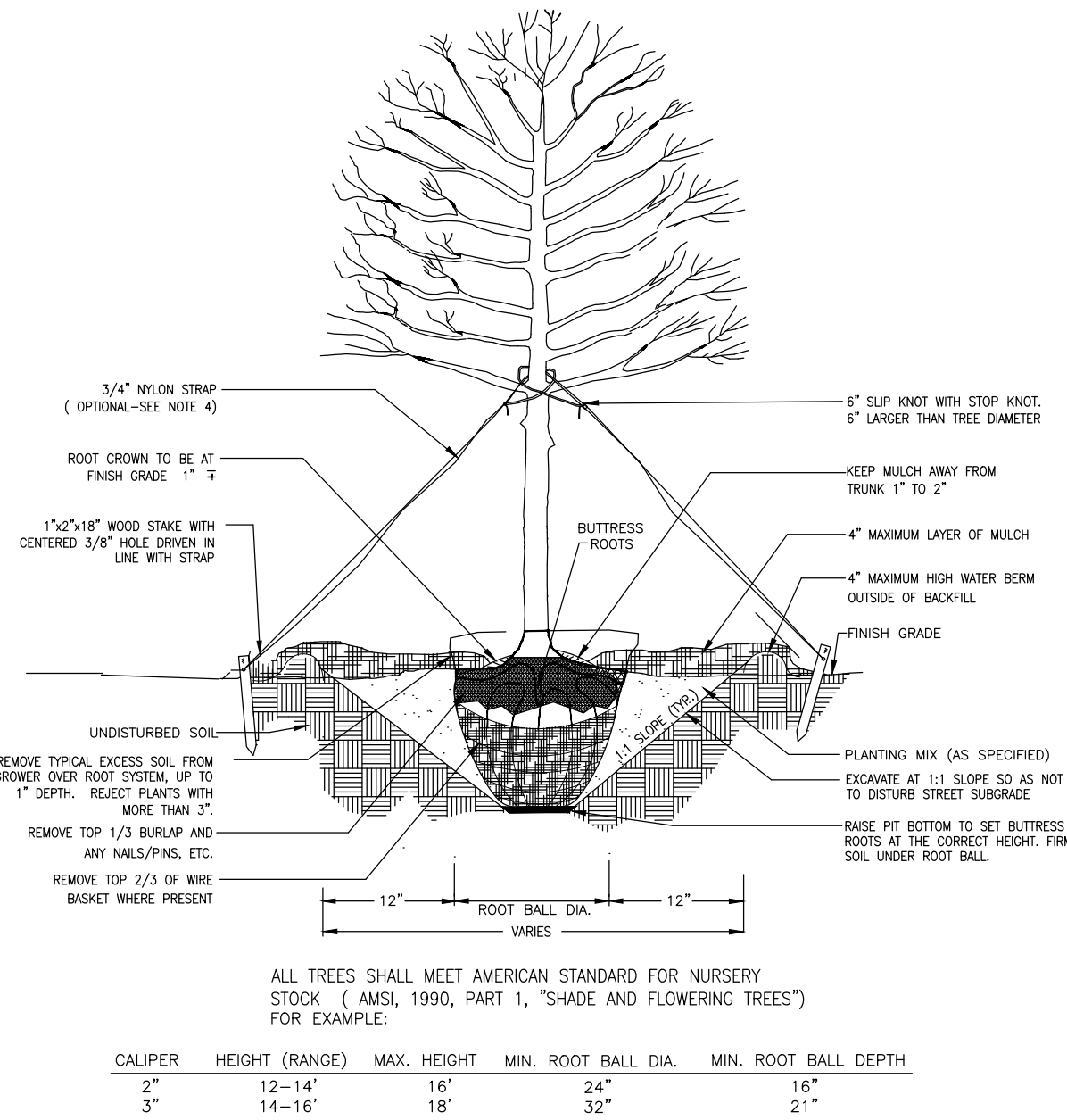
ACCEPTABLE CONDITION

UNACCEPTABLE CONDITION

NOTE:
ROOT COLLAR EXCAVATION FOR ALL TREES SPECIFIED WILL BE DONE BY THE CITY ARBORIST TO ENSURE THAT TREES WERE NOT PLANTED/GROWN TOO DEEPLY AT SOURCE (NURSERY). LANDSCAPE CONTRACTOR SHALL HAVE SUPPLIER MARK GROUND LEVEL LINE ABOVE ROOT BALL. IF CITY ARBORIST DETERMINES THAT THERE IS EXCESSIVE SOIL OVER THE ROOT CROWN, THESE TREES WILL BE REJECTED.

ROOT CROWN DEPTHS

(TREE ROOT BALL CONDITION ON TREES FROM SUPPLIERS)

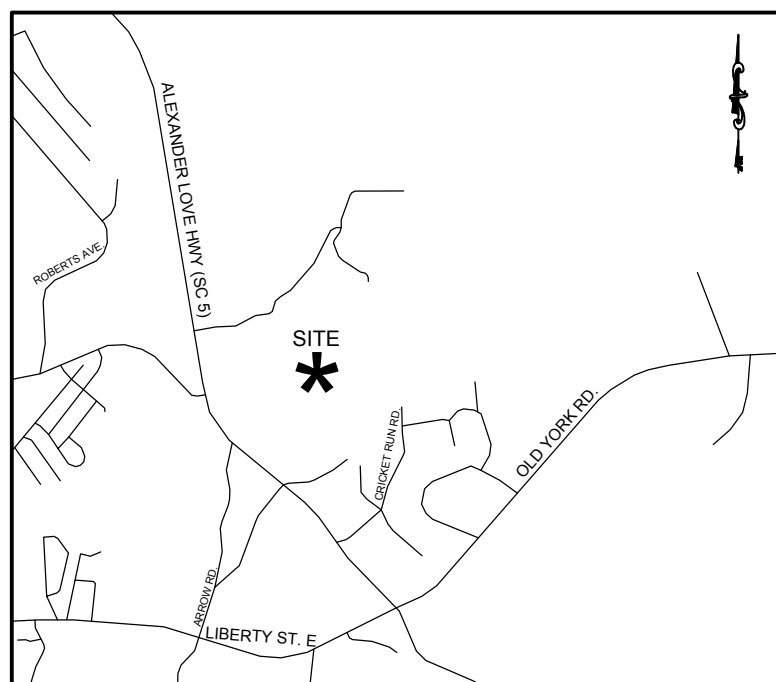


NOTES:

1. REMOVE WIRE OR NYLON TWINE FROM BALL.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. STAKING REQUIRED FOR LEANING TREES OR AS REQUIRED BY CONTRACT.

TREE PLANTING

(FOR SINGLE AND MULTI-STEM TREES)



VICINITY MAP - N.T.S.

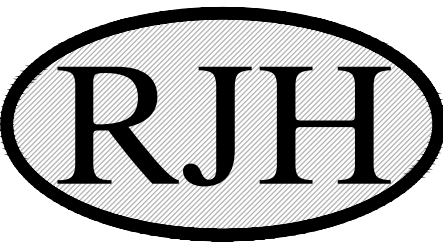
GENERAL PLANTING NOTES

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE ENGINEER ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVARS AND/OR VARIETIES AS INDICATED ON THE PLANT SCHEDULE. ANY SUBSTITUTIONS INSTALLED WITHOUT PRIOR APPROVAL OF ENGINEER WILL BE REJECTED AND SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
3. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIALS DUE TO ON SITE CONDITIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO ENGINEER'S APPROVAL ARE SUBJECT TO RELOCATION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. PLANTS SHALL BE SPECIMEN QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY STOCK AND SHALL CONFORM TO THE CODE OF STANDARDS SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
5. HEIGHT AND SPREAD DIMENSION SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT LESS THAN 50% OF THE PLANTS SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
6. SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED.
7. LEAVES MUST BE OF MEDIUM FOLIAGE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCULENCE PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
8. ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WRAPPED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
9. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
10. PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE DOUBLE HAMMERED SHREDDED HARDWOOD UNLESS OTHERWISE SPECIFIED. SHALL BE CLEAN, FRESH, AND FREE OF STICKS, CONES, BRANCHES, OR SOIL.
11. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES. BACKFILL PLANTING MIXTURE SHALL BE ONE PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHRUB BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE CONTRACTOR FOR APPROVAL PRIOR TO PLANTING.
12. PLANTS SHALL BE SUBJECT TO REVIEW BY OWNER'S REPRESENTATIVE AT NURSERY OR ON SITE PRIOR TO PLANTING AND WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BID SUBMITTAL IF REQUESTED BY LANDSCAPE OWNER'S REPRESENTATIVE.
13. THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED AS INDICATED BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE ENGINEER OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
14. FERTILIZER SHALL BE A COMPLETE FERTILIZER; 50% OF NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREA. FERTILIZER SHALL BE DELIVERED TO THE SITE IN STANDARD SIZE UNOPENED CONTAINERS WHICH SHOW THE WEIGHT, CHEMICAL ANALYSIS, AND MANUFACTURER. IT SHALL BE STORED IN A DRY LOCATION UNTIL ITS USE. FERTILIZER FOR TREES, SHRUBS, AND GROUND COVER AREAS SHALL BE A SLOW RELEASE TYPE AND SHALL BE APPLIED AS FOLLOWS:

TREES AND SHRUBS	
TREES:	1 LB / INCH OF CALIPER
SHRUBS:	1/2 LB / INCH HEIGHT
MARCH-MAY	10-10
JUNE-OCTOBER	6-10
NOVEMBER-FEBRUARY	6-12-12
15. LANDSCAPE CONTRACTOR SHALL PERFORM PERCOLATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT OWNER'S REPRESENTATIVE AND DO NOT PLANT THE TREE WITHOUT ON SITE INSPECTION OF DRAINAGE. OWNER'S REPRESENTATIVE MAY REQUIRE ADDITIONAL SUBSURFACE DRAIN LINES FROM THE TREE PITS.
16. IF SURFACE DRAINAGE IS NOT SUFFICIENT (STANDING WATER) NOTIFY OWNER'S REPRESENTATIVE IN WRITING BEFORE INSTALLING THE PLANTS, OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIABILITY OF THE PLANTS.
17. BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UNDERGROUND OR OVERHEAD UTILITY LINES.
18. CERTIFICATE OF INSPECTION AS MAY BE REQUIRED BY LAW FOR TRANSPORTATION OF PLANT MATERIALS SHALL ACCOMPANY EACH INVOICE FOR EACH SHIPMENT OF PLANTS. CERTIFICATES SHALL BE FILED WITH OWNER'S REPRESENTATIVE PRIOR TO ACCEPTANCE OF MATERIAL. INSPECTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE REJECTION OF THE MATERIAL BY THE OWNER'S REPRESENTATIVE.
19. ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SUPPLIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THIS PROJECT.
20. CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (i.e. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.).
21. THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE OWNER'S REPRESENTATIVE WILL INSPECT THE PROPERTY. HE WILL EITHER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE OR WILL ISSUE A "PUNCH LIST" OF ITEMS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.

DATE	ISSUED FOR	REV
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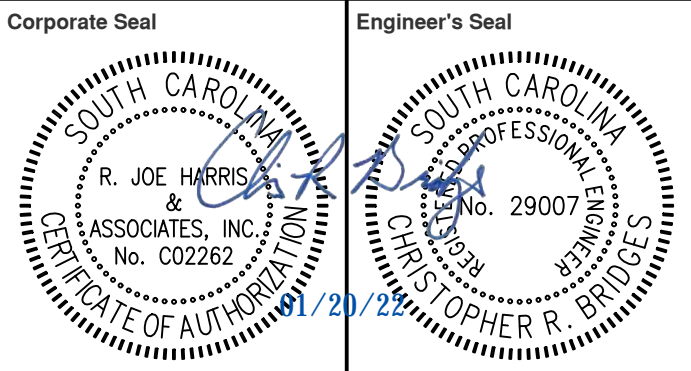
Engineer:



R. Joe Harris & Associates, Inc.
Engineering • Land Surveying • Planning
Management
1186 Somcrest Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799

www.rjoe-harris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.



Project Manager C. Bridges	Drawn A. Gendelman
Department Manager P. Murphy	Checked C. Bridges
Print/Plot Date January 20, 2022	Asbuilt Date -
Client	

Hopper Communities
1616 CLEVELAND AVENUE
CHARLOTTE, NC 28203
P: (704)649-3097

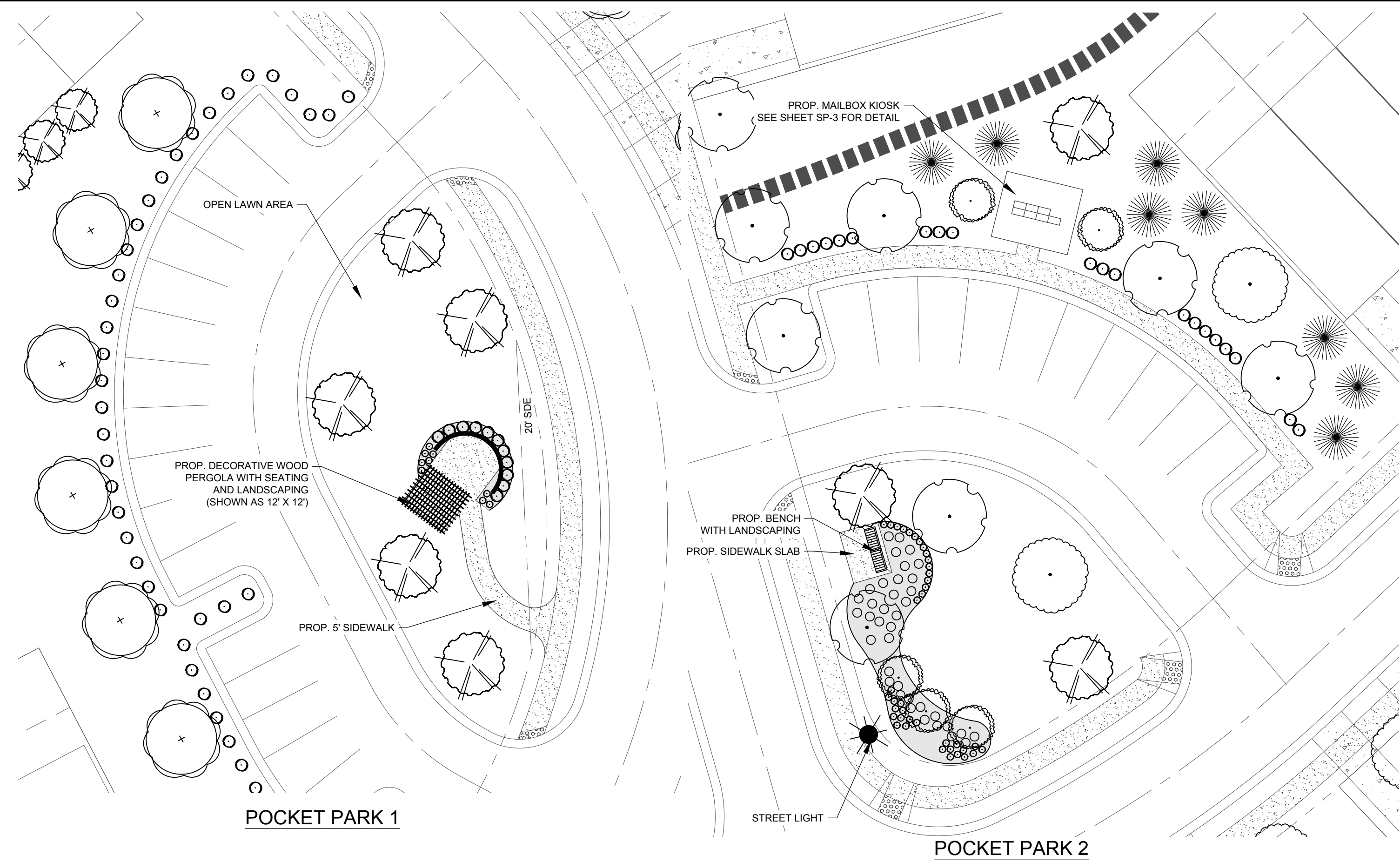
Project:

Fergus Crossing Amenity

Drawing Title:

Landscape Plan & Details

Project No. 4945 DWG File Name: 4945 - Amenity Site	Drawing No. LP-1
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THE FOLLOW ARE FOR ILLUSTRATIVE PURPOSES ONLY TO SHOW TYPES OF ARBOR/PERGOLA THAT MY BE BUILT FOR THE PROJECT. FINAL DESIGN, LAYOUT AND MATERIALS WILL BE FIT TO LOCATION BUT ARBOR/PERGOLA SHALL NOT BE SMALLER THAN 8'x8'. STRUCTURE SHALL NOT BE TOO LARGE AS TO IMPACT LIFESTYLE OF ADJACENT RESIDENTS.



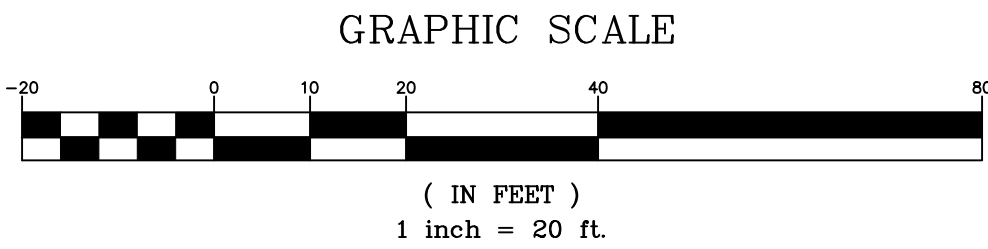
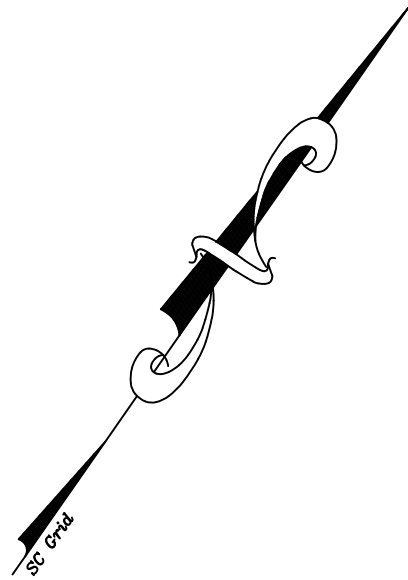
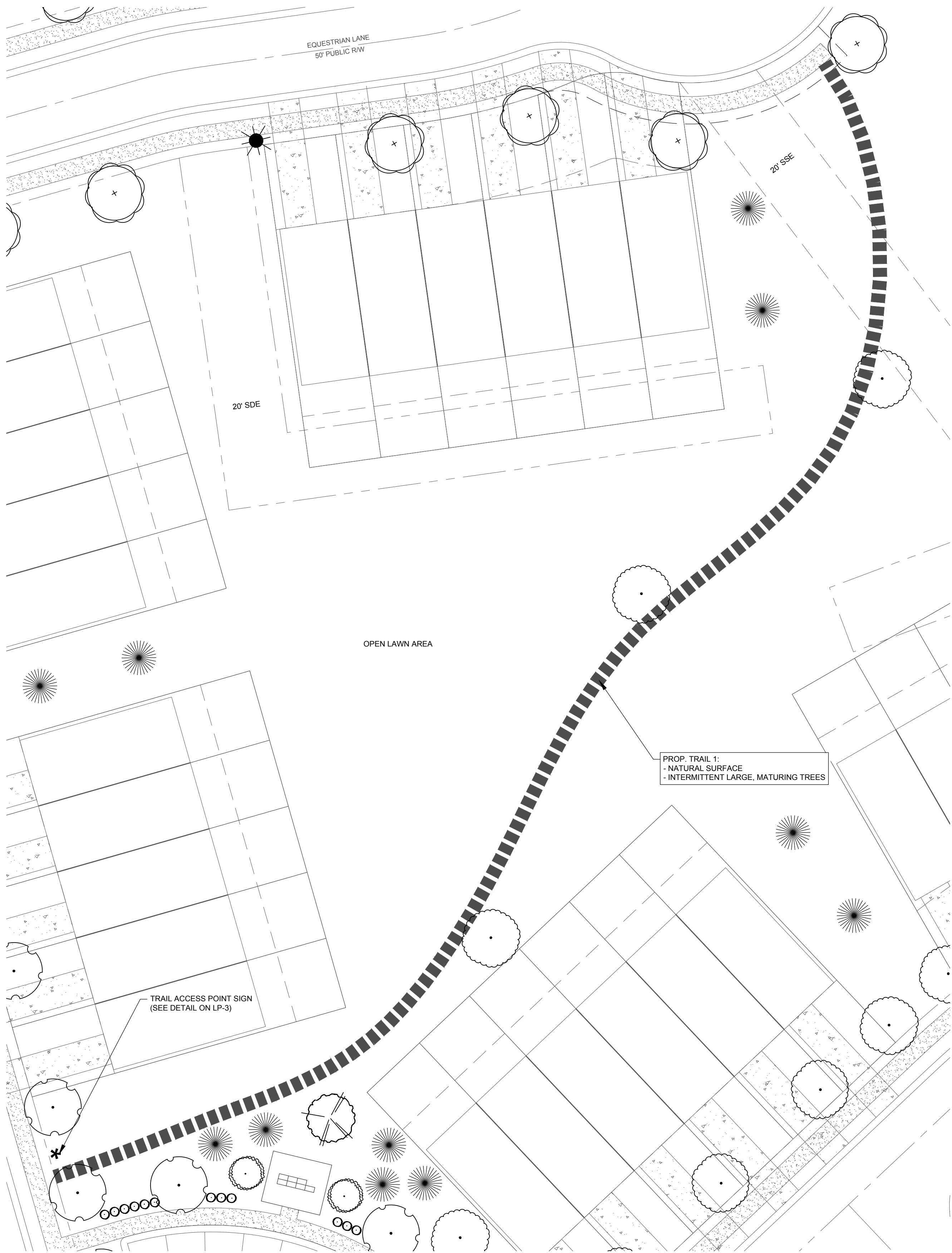
TRADITIONAL ARBOR/PERGOLA IN LANDSCAPED SETTING
TYPICAL INSTALLATION AREAS:
• POCKET PARKS
• GARDENS
• SCENIC OVERVIEWS
• FITS ONTO GREENS (NON-PAVED AREAS)



SEATING BENCH
PROVISION OF SEATING BENCH UNDER/NEAR ARBOR/PERGOLA AND MAY CONSIST OF THE FOLLOWING MATERIALS:
• TREATED WOOD/TIMBERS
• ALUMINUM OR CAST IRON/STEEL
• COMPOSITE MATERIALS
• DURABLE PLASTICS

LEGEND			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
	2" CAL.	<i>Quercus laurifolia</i> :	LAUREL OAK
	2" CAL.	<i>Ulmus Parvifolia</i> :	LACEBARK ELM
	2" CAL.	<i>Quercus Shumardii</i> :	SHUMARD OAK
	1" CAL.	<i>Cercis canadensis</i>	EASTERN REDBUD
	5' TALL	<i>Thuja plicata x standishii 'Virginian'</i>	BABY GIANT ARBORVITAE
	18" TALL	<i>Buxus 'Green Velvet'</i>	GREEN VELVET BOXWOOD SHRUB
	1.5" CAL.	<i>Juniperus Virginiana</i> :	RED CEDAR
	12" TALL	<i>Camellia japonica</i> :	JAPANESE CAMELLIA
	5-8' TALL	<i>Ilex glabra</i> :	INKBERRY HOLLY

NOTE: NO OTHER SPECIES MAY BE USED WITHOUT APPROVAL FROM THE CITY OF YORK.



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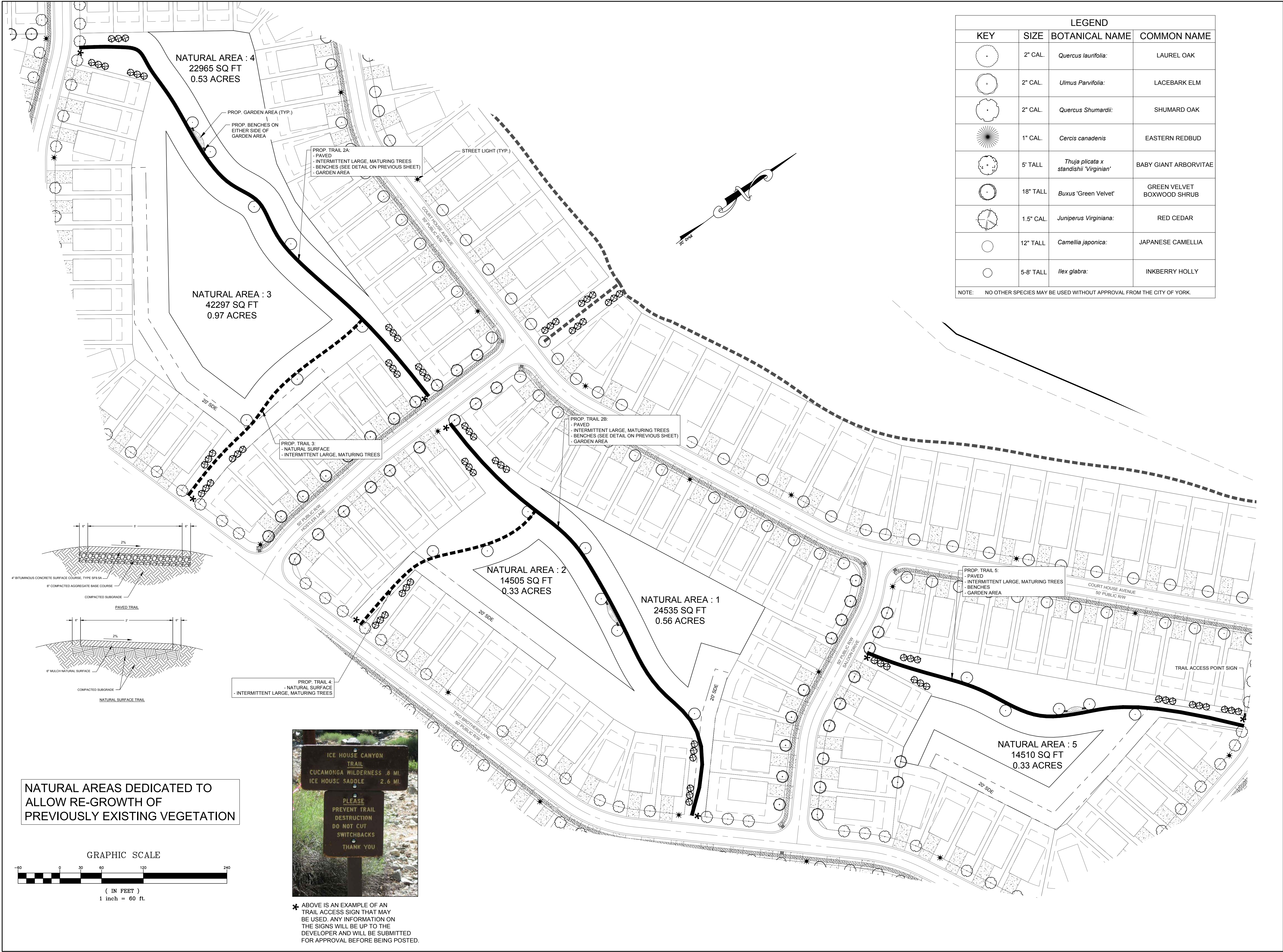
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Corporate Seal

Engineer's Seal

Project Manager C. Bridges	Drawn A. Gendelman
Department Manager P. Murphy	Checked C. Bridges
Print/Plot Date January 20, 2022	
Asbuilt Drawn -	Asbuilt Date -
Client Hopper Communities 1616 CLEVELAND AVENUE CHARLOTTE, NC 28203 P: (704)649-3097	
Project: Fergus Crossing Amenity	
Drawing Title: Pocket Parks And Trail 1 Landscape Plan	
Project No. 4945 DWG File Name: 4223 - Landscape	Drawing No. LP-2



LEGEND			
KEY	SIZE	BOTANICAL NAME	COMMON NAME
	2" CAL.	<i>Quercus laurifolia:</i>	LAUREL OAK
	2" CAL.	<i>Ulmus Parvifolia:</i>	LACEBARK ELM
	2" CAL.	<i>Quercus Shumardii:</i>	SHUMARD OAK
	1" CAL.	<i>Cercis canadensis</i>	EASTERN REDBUD
	5' TALL	<i>Thuja plicata x standishii 'Virginian'</i>	BABY GIANT ARBORVITAE
	18" TALL	<i>Buxus 'Green Velvet'</i>	GREEN VELVET BOXWOOD SHRUB
	1.5" CAL.	<i>Juniperus Virginiana:</i>	RED CEDAR
	12" TALL	<i>Camellia japonica:</i>	JAPANESE CAMELLIA
	5-8' TALL	<i>Ilex glabra:</i>	INKBERRY HOLLY
NOTE: NO OTHER SPECIES MAY BE USED WITHOUT APPROVAL FROM THE CITY OF YORK.			

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Engineer:

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CORPORATE SEAL

ENGINEER'S SEAL

Project Manager C. Bridges	Drawn A. Gendelman
Department Manager P. Murphy	Checked C. Bridges
Print/Plot Date January 20, 2022	
Asbuilt Drawn -	Asbuilt Date -
Client Hopper Communities 1616 CLEVELAND AVENUE CHARLOTTE, NC 28203 P: (704)649-3097	
Project: Fergus Crossing Amenity	
Drawing Title: Trail 2A - 5 Landscape Plan	
Project No. 4945 DWG File Name: 4223 - Landscape	Drawing No. LP-3