

SURVEY INFORMATION & PLAT STANDARDS:

1. THIS SURVEY IS A SUBDIVISION OF AN EXISTING PARCEL OF LAND.
2. THIS PLAT IS A PORTION OF TAX PARCEL #3480000006 & 3950000005
3. ZONING: PUD
4. ACREAGE OF THIS PLAT: 37.152 ACRES
5. TOTAL NUMBER OF LOTS ON THIS PLAT: 142; 53 TOWNHOMES & 89 SINGLE FAMILY HOMES.
6. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
7. THIS SURVEY IS NOT AN ALTA/ACSM LAND TITLE SURVEY.
8. PROPERTY SURVEYED WITHOUT THE BENEFIT OF A TITLE SEARCH. ADDITIONAL RIGHTS-OF-WAY, EASEMENTS OR ENCUMBRANCES MAY EXIST THAT ARE NOT LOCATABLE OR KNOWN AT TIME OF PLAT.
9. AREA COMPUTED BY COORDINATE METHOD.
10. DASHED LINES INDICATE LINES NOT SURVEYED.
11. #5 REBARS SET ALL ALL PROPERTY CORNERS UNLESS NOTED OTHERWISE.
12. UNADJUSTED RATIO OF PRECISION IS 1:10,000+
13. SITE HAS BEEN TIED TO SC GRID COORDINATE SYSTEM AS REFERENCED ON PLAT. TIED TO NGS MONUMENT "HUNTER ELEM".
14. PROPERTY USE: PLANNED UNIT DEVELOPMENT TO INCLUDE TOWN HOMES AND SINGLE FAMILY DETACHED
15. THE DEVELOPER OR HIS DESIGNEE IS RESPONSIBLE FOR KEEPING ALL SIGHT DISTANCE EASEMENTS CLEAR OF ALL SIGNS, VEGETATION, AND OTHER OBJECTS THAT MAY BLOCK DRIVER'S LINE OF SIGHT.

SPECIAL NOTES/EXCEPTIONS:

1. ALL RECORDED LOTS ARE SUBJECT TO AND HEREBY AMENDED TO BE INCLUDED AS PART OF THE HOMEOWNERS ASSOCIATION (HOA) AND/OR PROPERTY OWNERS ASSOCIATION (POA), AS APPLICABLE.
2. COMMON OPEN SPACE PASSIVE/ACTIVE AREAS ARE TO BE MAINTAINED BY THE DEVELOPER AND/OR THE HOA/POA.
3. STORM DRAINAGE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE DEVELOPER AND/OR HOA/POA.
4. SANITARY SEWER AND WATER DISTRIBUTION SYSTEM TO BE OWNED AND MAINTAINED BY THE CITY OF YORK WATER & SEWER DEPARTMENT.
5. THE STABILIZATION AND PROTECTION OF THE UNDISTURBED WATER QUALITY BUFFER IS CRITICAL TO WATER QUALITY. CLEARING AND CUTTING OF VEGETATION IS PROHIBITED WITHIN THIS ZONE WITH THE DESIRABLE VEGETATION BEING MATURE FOREST.

STANDARD NOTES – FINAL PLAT:

- A. UTILITIES ARE LOCATED EXCLUSIVELY INSIDE ROAD RIGHT-OF-WAY (UNLESS OTHERWISE NOTED).
- B. ALL PROPOSED LOTS ON EXISTING STREETS WILL BE ACCESSED FROM THE NEW STREET(S).
- C. EX. LANDFILL WITHIN FINAL PLAT LIMITS AS SHOWN.
- D. MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION AND STORMWATER MANAGEMENT CONTROLS, OUTSIDE THE ROAD RIGHT-OF-WAY, IS THE RESPONSIBILITY OF THE DEVELOPER OR HIS/HER DESIGNEE. CITY OF YORK RESERVES THE RIGHT TO PERFORM WORK IN THESE AREAS SHOULD THE DEVELOPER OR HIS/HER DESIGNEE NOT PROPERLY MAINTAIN THESE AREAS CAUSING POTENTIAL DANGER TO THE INTEGRITY OF THE ROADWAY. IN THIS EVENT, THE DEVELOPER OR HIS/HER DESIGNEE WILL BE BILLED FOR ANY COST INCURRED BY CITY OF YORK.
- E. INDIVIDUAL LOT IRRIGATION SYSTEMS WILL NOT BE PERMITTED TO BE INSTALLED WITHIN THE ROAD RIGHTS-OF-WAY.
- F. DEVELOPER, INDIVIDUAL LOT OWNER, OR THEIR REPRESENTATIVES SHALL NOT PIPE OR FILL IN ROADSIDE DITCHES NOR DISCHARGE LOT OR ROOF DRAINAGE SYSTEMS INTO ROADSIDE DITCHES, ENCLOSED STORM DRAINAGE SYSTEMS, OR ROAD RIGHTS-OF-WAY WITHOUT SUBMITTING A ROAD ENCROACHMENT PERMIT TO CITY OF YORK FOR APPROVAL.
- G. ALL APPLICABLE WATER/SEWER IMPACT AND METER FEES MUST BE PAID BEFORE ANY BUILDING PERMITS ARE ISSUED.
- H. THE DEVELOPER OR HIS DESIGNEE IS RESPONSIBLE FOR KEEPING ALL SIGHT DISTANCE EASEMENTS CLEAR OF ALL SIGNS, VEGETATION AND OTHER OBJECTS THAT MAY BLOCK DRIVERS' LINE OF SIGHT.
- I. CITY OF YORK WILL NOT OWN OR MAINTAIN SIDEWALKS THAT ARE OUTSIDE THE PUBLIC RIGHT-OF-WAY.

LINE/TYPE LEGEND

- PROPERTY LINE
- SETBACKS
- STORM DRAIN EASEMENT (SDE)
- SANITARY SEWER EASEMENT (SSE)
- BUFFER YARD
- SIGHT DISTANCE EASEMENT
- ADJONER

LEGEND:

- IRON PIN FOUND
- IRON PIN FOUND
- IRON SET #5 REBAR W/ CAP
- CALCULATED POINT/MARK IN CONCRETE, NO IRON SET
- CONCRETE MONUMENT FOUND
- NOW OR FORMERLY
- STORM DRAIN EASEMENT
- SANITARY SEWER EASEMENT
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE

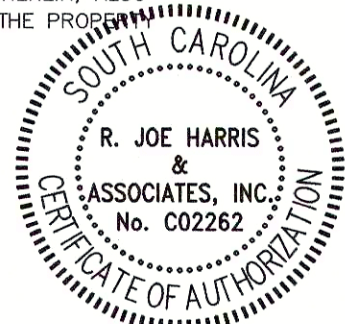
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OWNER REPRESENTATIVE

I HAVE EXAMINED THE FLOOD INSURANCE RATE MAP FOR YORK COUNTY, SOUTH CAROLINA, COMMUNITY PANEL NUMBER 45091002776, DATED SEPTEMBER 26, 2008 AND HEREBY CERTIFY THAT THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARD MANUAL FOR PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO ENCROACHMENTS, PROJECTIONS, OR SETBACKS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

KENNETH W. GREEN, RLS
8-14-23
#4529



CITY OF YORK STANDARDS & REQUIREMENTS:

1. A SINGLE, 12-BEDROOM PURPLE MARTIN HOUSE MOUNTED A MIN. OF 10-FT ABOVE GRADE SHALL BE PROVIDED AT EACH STORMWATER MANAGEMENT POND.
 2. PURPLE MARTIN HOUSES SHALL BE CONSTRUCTED OF ALUMINUM OR OTHER DURABLE MATERIAL.
 3. SUPPLIERS INCLUDE BESTNEST.COM
- AMENITY SCHEDULE
1. PHASING SHALL BE PER ATTACHED PHASING PLAN (SHEET C1.0)
 2. PHASE 1 MAY BE RECORDED PRIOR TO THE BUILD OF THE CENTRAL AMENITY (CABANA AND POOL)
 3. THE CENTRAL AMENITY (CABANA/POOL) SHALL BE BUILT PRIOR TO RECORDATION OF PHASE 2B OR
 4. THE CENTRAL AMENITY (CABANA/POOL) MUST BE GUARANTEED WITH A LETTER OF CREDIT AT 150% OF THE ESTIMATED CONSTRUCTION VALUE AS CERTIFIED BY AN ENGINEER PRIOR TO THE RECORDATION OF PHASE 2B.
 5. THE CENTRAL AMENITY (CABANA/POOL) MUST BUILT PRIOR TO RECORDATION OF PHASE 3.

CONDITIONAL NOTES:

- ARCHITECTURAL:
1. EXTERIOR BUILDING MATERIALS MAY INCLUDE VINYL SHING, FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. VINYL SHALL ONLY BE USED FOR SIDES AND REAR OF HOMES AND MUST BE UPGRADED FROM BUILDER GRADE TO STANDARD GRADE THICKNESS (0.04")
 2. FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
 3. NO SAVE TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MINIMUM ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
 4. A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
 5. MINIMUM HEATED SQUARE FOOTAGE FOR EACH DETACHED HOME SHALL BE NO LESS THAN 1,600 SQ.FT. MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,300 SQ. FT.
 6. MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 PITCH (18.4 DEGREES).

PERMETER BUFFERS:

1. PERMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
2. DEVELOPER MAY TEMPORARILY ENDOACH INTO PERMETER BUFFERS/AREAS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
 - COMMERCIAL FRONTAGE MAY BE DISTURBED AND RE-PLANTED
 - INTERNAL BUFFERS BETWEEN COMMERCIAL AND RESIDENTIAL USES MAY BE DISTURBED AND RE-PLANTED
 - NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERMETER BUFFERS SHOWN
 - ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

STREETS:

1. ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
2. THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR PLANNED UNIT DEVELOPMENT.
3. STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON AREAS).
4. ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
5. STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.
6. COMMON AREAS:
 1. ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOS, PAVILIONS, PISCINE AREAS AND/OR PLAYGROUNDS. AMENITY AREA SHALL BE IMPROVED AND WILL CONTAIN A 2400 SF CABANA, 4200 SF POOL, AND A MINIMUM OF 12-15 PARKING SPACES. PLEASE SEE SHEET C1.0 (AMENITY SCHEDULE) FOR THE BUILDING OF THE CABANA/POOL SCHEDULE.
 2. NATURAL SURFACE TRAILS SHALL BE MIN. 48-INCHES IN WIDTH, AND MADE OF MULCH, GRAVEL, STONE, OR OTHER NATURAL SURFACE MATERIAL.
 3. PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH, AND MADE OF PAVEMENT OR CONCRETE.
 4. PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
 5. ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. NOT PROPERLY MAINTAIN THESE AREAS CAUSING POTENTIAL DANGER TO THE CENTRAL AMENITY SITE. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN. MAILBOXES FOR COMMERCIAL PARCELS SHALL BE SEPARATE AND WILL BE LOCATED ON THE COMMERCIAL PARCELS. ACTUAL LOCATION WILL BE DETERMINED WITH FINAL COMMERCIAL DESIGN.

ALLOWANCES:

1. THE TOWNHOMES UNIT MAY BE CONVERTED TO SINGLE FAMILY UPON REVIEW AND APPROVAL OF PRELIMINARY PLAN BY PLANNING COMMISSION.
2. CONVERSION MAY REQUIRE MINOR REVISIONS TO STREET LAYOUTS WHICH SHALL BE SUBJECT TO PLANNING COMMISSION APPROVAL.
3. OVERALL HOUSING DENSITY FOR THE DEVELOPMENT MAY NOT INCREASE DUE TO CONVERSION.

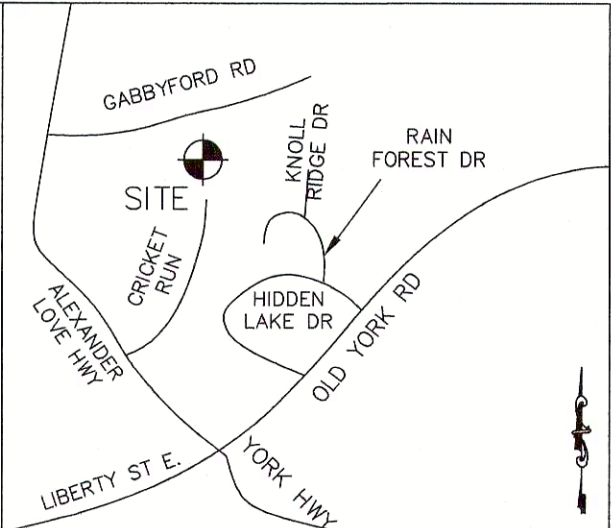
BUILDING HEIGHTS:

1. MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

FENCING:

1. ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.19

TOWN HOMES:
SETBACKS/ YARDS:
FRONT – 35 FT.
REAR – 15 FT.
BETWEEN DETACHED UNITS – 15 FT.
MIN. LOT WIDTH – 20 FT
MIN. LOT SIZE – 1,995 SF.



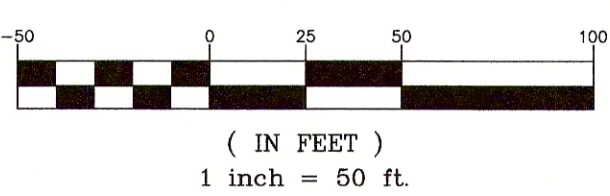
VICINITY MAP – N.T.S.

CITY OF YORK STANDARDS & REQUIREMENTS:

1. ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
2. THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) – STREET LIGHTING – SIDEWALKS – ETC.
3. SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
 - LOTS 117-119
 - LOTS 127-130
 - LOTS 184-186; 291
 - LOTS 199-200; 274
 - LOTS 277-280
 - LOTS 350-353
4. EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
5. STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT SIDE FRONTAGE OF ALEXANDER LOVE HWY. THESE IMPROVEMENTS SHALL NOT BE REQUIRED UNTIL CONSTRUCTION OF THE COMMERCIAL DEVELOPMENT AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF EACH PARCEL IF DEVELOPED SEPARATELY. SIDEWALK ALONG INTERNAL STREETS SHALL BE BUILT WITH THE ROAD AND SHALL CONNECT TO EXISTING SIDEWALK ALONG ALEXANDER LOVE HIGHWAY, REGARDLESS OF TIMING OF COMMERCIAL DEVELOPMENT.
6. WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
7. IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
8. ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
9. COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
10. OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
11. DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR SUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
12. VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS:
 - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL, OR
 - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR
 - IF AN PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL
13. ALL SDCHE REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SDCHE REQUIREMENTS.
14. ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
15. COMMERCIAL AND RESIDENTIAL PARCELS WITHIN 500' OF THE ALEXANDER LOVE HIGHWAY RIGHT OF WAY SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.
16. COMMERCIAL PARCELS SHALL COMPLY WITH HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS.

AREA TABULATION	
AREA WITHIN LOTS:	
TOWNHOMES =	2.498 ACRES±
SINGLE FAMILY HOMES =	12.284 ACRES±
TOTAL LOT ACREAGE =	14.782 ACRES±
AREA WITHIN R/W =	7.882 ACRES±
AREA WITHIN POS/AOS =	14.740 ACRES±
(POS/AOS TOTAL PARKING INCLUDES PARKING AREA AND AMENITY AREA)	
PARKING AREA =	0.109 ACRES±
AMENITY AREA =	1.938 ACRES±
TOTAL PLATTED AREA =	37.404 ACRES±
LINEAR FOOTAGE SCHEDULE	
COURT HOUSE AVENUE =	4,640 LF
TRADING POST LANE =	143 LF
PRIVATE PARKING ALLEY =	163 LF
WAGON CROSS COURT =	126 LF
RUTHERFORD STREET =	155 LF
TWO BROTHERS LANE =	594 LF
KOSTER LANE =	107 LF
CRICKET RUN ROAD =	360 LF
TABERNA LANE =	155 LF
SALVON DRIVE =	147 LF

GRAPHIC SCALE



SEE SHEET 3 FOR ALL LINE AND CURVE TABLES

FINAL PLAT OF FERGUS CROSSING PHASE 1

CITY OF YORK
YORK COUNTY, SOUTH CAROLINA

SURVEYED FOR CURRENT OWNER:
HC FERGUS CROSSING LLC
1360 ALEXANDER LOVE HWY E,
YORK, SC 29745

R. Joe Harris & Associates, Inc.

Engineering & Land Surveying
1186 STONECREST BLVD, TEGA CAY, SC, 29708
Phone: (803) 802-1799



DATE

8-14-23

PROJECT #

5263

DWG FILE #

4223

DWG SCALE

1" = 50'

PREPARED BY

D. CULVER

CHECKED BY

K. GREEN

SHEET

OF

1

3

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SINGLE FAMILY DETACHED:
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FRONT - 25 FT.
REAR - 15 FT.
SIDE - 0 FT.
CORNER - 10 FT.
MIN. LOT WIDTH - 43 FT.
MIN. LOT DEPTH - 110 FT.
MIN. LOT SIZE - 4,730 SF.

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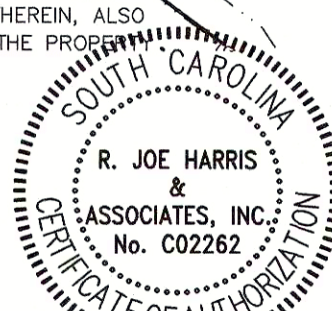
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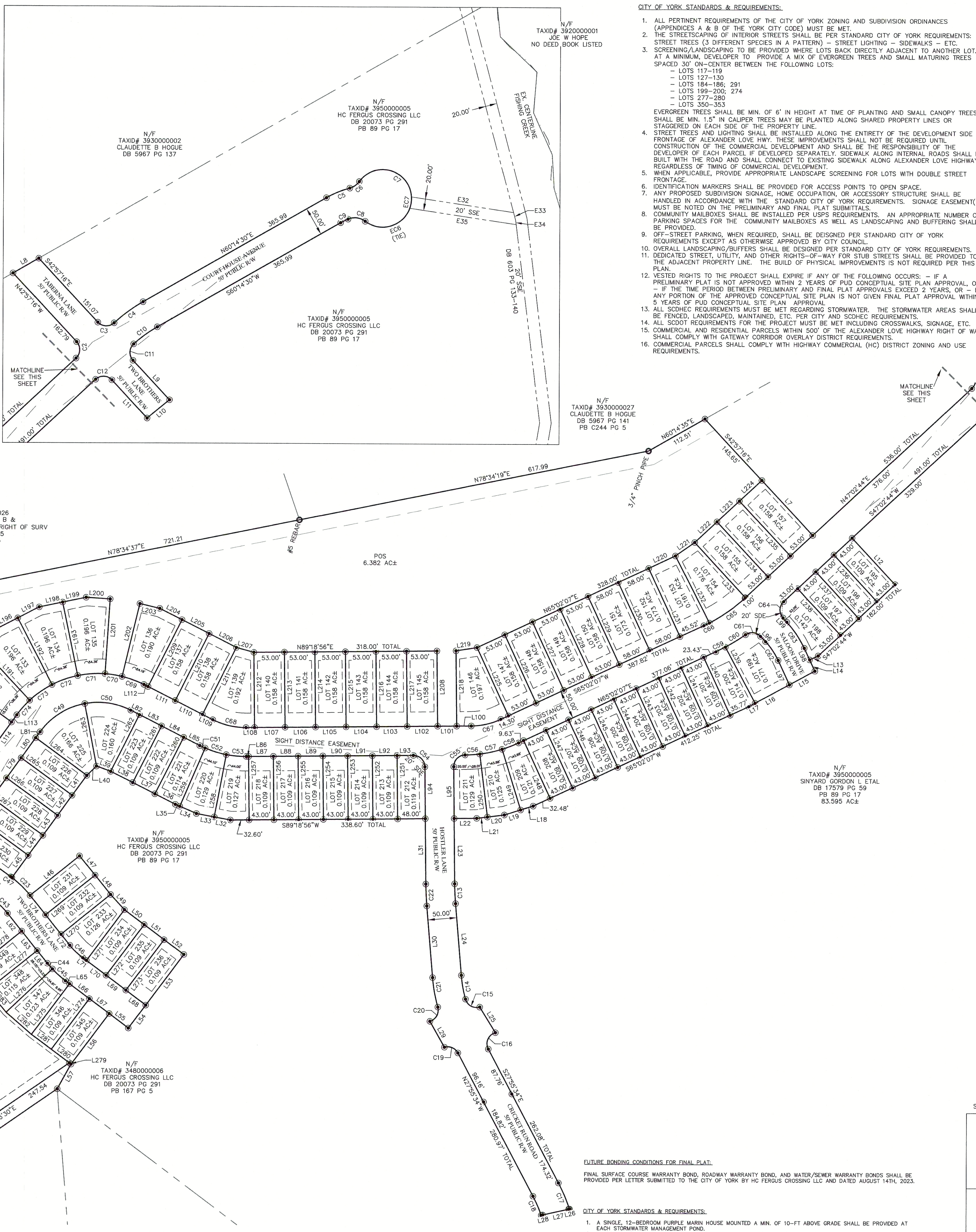
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KENNETH M. GREEN, RLS
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- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIN. OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
 - LOTS 117-119
 - LOTS 127-130
 - LOTS 184-186, 291
 - LOTS 199-200, 274
 - LOTS 277-280
 - LOTS 350-353
- EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5' IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET TREES AND LIGHTING SHALL BE INSTALLED ALONG THE ENTIRETY OF THE DEVELOPMENT SIDE FRONTAGE OF ALEXANDER LOVE HWY. THESE IMPROVEMENTS SHALL NOT BE REQUIRED UNTIL CONSTRUCTION OF THE COMMERCIAL DEVELOPMENT AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OF EACH PARCEL IF DEVELOPED SEPARATELY. SIDEWALK ALONG INTERNAL ROADS SHALL BE BUILT WITH THE ROAD AND SHALL CONNECT TO EXISTING SIDEWALK ALONG ALEXANDER LOVE HIGHWAY, REGARDLESS OF TIMING OF COMMERCIAL DEVELOPMENT.
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY CITY COUNCIL.
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR SUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL, OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL.
- ALL SCHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCHEC REQUIREMENTS.
- ALL SCOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
- COMMERCIAL AND RESIDENTIAL PARCELS WITHIN 500' OF THE ALEXANDER LOVE HIGHWAY RIGHT OF WAY SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.
- COMMERCIAL PARCELS SHALL COMPLY WITH HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS.

AMENITY SCHEDULE

- PHASING SHALL BE PER ATTACHED PHASING PLAN (SHEET C1.01)
- PHASE 1 MAY BE RECORDED PRIOR TO THE BUILD OF THE CENTRAL AMENITY (CABANA AND POOL)
- THE CENTRAL AMENITY (CABANA/POOL) SHALL BE BUILT PRIOR TO RECORDED OF PHASE 2B OR
- THE CENTRAL AMENITY (CABANA/POOL) MUST BE GUARANTEED WITH A LETTER OF CREDIT AT 150% OF THE ESTIMATED CONSTRUCTION VALUE AS CERTIFIED BY AN ENGINEER PRIOR TO THE RECORDED OF PHASE 2B.
- THE CENTRAL AMENITY (CABANA/POOL) MUST BUILT PRIOR TO RECORDED OF PHASE 3.

AREA TABULATION

AREA WITHIN LOTS:
TOWNHOMES = 2.488 ACRES±
SINGLE FAMILY HOMES = 12.284 ACRES±
TOTAL LOT ACREAGE = 14.782 ACRES±
AREA WITHIN R/W = 7.882 ACRES±
AREA WITHIN POS/AOS = 14.740 ACRES±
(POS/AOS TOTAL PARKING INCLUDES PARKING AREA AND AMENITY AREA)
PARKING AREA = 0.109 ACRES±
AMENITY AREA = 1.938 ACRES±
TOTAL PLATTED AREA = 37.404 ACRES±

LINEAR FOOTAGE SCHEDULE

COURT HOUSE AVENUE - 4,640 LF
TRADING POST LANE - 143 LF
PRIVATE PARKING AVENUE - 163 LF
WAGON CROSS COURT - 126 LF
RUTHERFORD STREET - 155 LF
TWO BROTHERS LANE - 594 LF
HOSTLER LANE - 501 LF
CRICKET RUN ROAD - 360 LF
TABERNA LANE - 155 LF
SALOON DRIVE - 147 LF

CONDITIONAL NOTES:

ARCHITECTURAL:

- EXTERIOR BUILDING MATERIALS MAY INCLUDE VINYL SIDING, FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. VINYL SHALL ONLY BE USED FOR SIDING AND MUST BE UPGRADED FROM BUILDER GRADE TO STANDARD GRADE THICKNESS (0.04").
- FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
- INTERIOR TOWN HOMES UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY.
- NO SAME TWO MODELS OF HOME SHALL BE PROVIDED ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE THE SAME COLOR.
- MINIMUM SQUARE FOOTAGE FOR EACH DETACHED HOME SHALL BE NO LESS THAN 1,600 SQ. FT. MINIMUM HEATED SQUARE FOOTAGE FOR EACH TOWN HOME SHALL BE NO LESS THAN 1,300 SQ. FT.
- MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 PITCH (18.4 DEGREES).

PERIMETER BUFFERS:

- PERIMETER BUFFERS SHALL BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
- DEVELOPER MAY TEMPORARILY ENCRUCH INTO PERIMETER BUFFERYARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
 - COMMERCIAL FRONTAGE MAY BE DISTURBED AND RE-PLANTED
 - INTERVAL BUFFERS BETWEEN COMMERCIAL AND RESIDENTIAL USES MAY BE DISTURBED AND RE-PLANTED
 - NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN
 - ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

STREETS:

- ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
- THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR PLANNED UNIT DEVELOPMENT.
- STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON).
- ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.

COMMON AREAS:

- ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOS, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. AMENITY AREA SHALL BE IMPROVED AND WILL CONTAIN A 2400 SF CABANA, 4200 SF POOL, AND A MINIMUM OF 12-15 PARKING SPACES. PLEASE SEE SHEET C1.10 (AMENITY SCHEDULE) FOR THE BUILDING OF THE CABANA/POOL SCHEDULE.
- NATURAL SURFACE MATERIAL SHALL BE MIN. 48-INCHES IN WIDTH, AND MADE OF MULCH, GRAVEL, STONE, OR OTHER NATURAL SURFACE MATERIAL.
- PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH, AND MADE OF PAVEMENT OR CONCRETE.
- PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
- ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN. MAILBOXES FOR COMMERCIAL PARCELS SHALL BE SEPARATE AND WILL BE LOCATED ON THE COMMERCIAL PARCELS. ACTUAL LOCATION WILL BE DETERMINED WITH FINAL COMMERCIAL DESIGN.

ALLOWANCES:

- TOWNHOME UNITS MAY BE CONVERTED TO SINGLE FAMILY UPON REVIEW AND APPROVAL OF PRELIMINARY PLAT BY PLANNING COMMISSION.
- CONVERSION MAY REQUIRE MINOR REVISIONS TO STREET LAYOUTS WHICH SHALL BE SUBJECT TO PLANNING COMMISSION APPROVAL.
- OVERALL HOUSING DENSITY FOR THE DEVELOPMENT MAY NOT INCREASE DUE TO CONVERSION.

BUILDING HEIGHTS:

- MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

FENCING:

- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9

2018 INTERNATIONAL FIRE CODE 503

FIRE APPARATUS ACCESS ROAD GATES, GATES SECURING THE FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

- WHERE A SINGLE GATE IS PROVIDED, THE GATE WIDTH SHALL BE NOT LESS THAN 20 FEET (6096 MM), WHERE A FIRE APPARATUS ROAD CONSISTS OF A DIVIDED ROADWAY, THE GATE WIDTH SHALL BE NOT LESS THAN 12 FEET (3658 MM).
- GATES SHALL BE OF THE SWINGING OR SLIDING TYPE.
- CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON.
- ALL COMPONENTS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE.
- ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
- METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL. PLANTS ARE INDICATING KNIX BOX, SMALL VEHICLE, WILL BE INSTALLED ON EACH SIDE OF THE GATE. A KNOX BOX WILL BE INSTALLED ON EACH SIDE OF THE GATE.
- ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2203.
- NO PARKING - FIRE LANE SIGNS COMPLYING WITH THE 2018 INTERNATIONAL FIRE CODE, SECTION 503.3 MUST BE INSTALLED FOR THE CRICKET RUN ROAD FIRE APPARATUS ACCESS ON BOTH ENDS.

*NOTE: NOTES 5.7, & 8 SHALL NOT APPLY AS PROPOSED GATES SHALL BE INSTALLED WITH MANUAL OPERATION INCLUDING AN APPROVED METHOD OF LOCKING.

SPECIAL CONDITIONS:

CRICKET RUN EMERGENCY CONNECTION

- THE EMERGENCY ACCESS CONNECTION WILL BE SURFACED WITH ALTERNATIVE SURFACE MATERIALS IN-LIEU-OF STANDARD CITY ROAD CROSS SECTION. ALTERNATIVE DRIVING SURFACE SHALL BE NO MORE THAN 20-FT IN WIDTH AND MAY BE CONSTRUCTED OF GRASS PAVES OR STONE SURFACE CAPABLE OF SUPPORTING AN 80,000 LB VEHICLE (FIRE DEPARTMENT WATER TRUCK), AS DETERMINED BY THE CITY OF YORK.
- EMERGENCY ACCESS CONNECTION SHALL BE DEDICATED IN A 30-FT COMBINED ACCESS AND UTILITY EASEMENT, DEDICATED TO THE CITY OF YORK. THIS EASEMENT MAY NOT BE CONVERTED TO A PUBLIC R/W PER ITEM #5 BELOW.
- THE DEVELOPER AND CITY OF YORK AGREE THAT A PETITION TO MAKE THE CRICKET RUN EMERGENCY ACCESS DRIVE INTO A PUBLIC ROAD MAY NOT BE APPLIED FOR NOR CONSIDERED FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF THE APPROVED REZONING. AFTER THE TEN (10) YEAR PERIOD, SUCH PETITION FOR PUBLIC ROAD CONNECTION SHALL BE DONE THROUGH THE CITY OF YORK'S PUBLIC HEARING PROCESS AND SUBJECT TO APPROVAL BY CITY COUNCIL.
- EMERGENCY GATES MUST BE PROVIDED AT BOTH ENDS OF THE EMERGENCY ACCESS TO LIMIT OR ELIMINATE LOITERING OR CONGREGATION OF VEHICLES ON THE EMERGENCY ACCESS AND ONLY THE CITY OF YORK WILL HAVE ACCESS TO THE EMERGENCY GATES AND THE EMERGENCY GATE AT END OF THE EXISTING CRICKET RUN SHALL BE INSTALLED IMMEDIATELY AFTER THE CONSTRUCTION PROCESS. THE DEVELOPMENT SIDE EMERGENCY GATE SHALL BE INSTALLED PRIOR TO REZONATION OF THE FINAL PLAT FOR THAT AREA.

ADDITIONAL CONSIDERATIONS FOR TM070-24-01-016 AND TM070-34-01-036

- DEVELOPER AGREES TO PROVIDE SUPPLEMENTAL EVERGREEN PLANTS SUBJECT TO AGREEMENT WITH EACH PROPERTY OWNER, FOR ANY BARE BUFFER AREAS ON EACH PARCEL OF LAND.
- EVERGREEN TREES WILL BE MIN. 6-8 FT. IN HEIGHT AT TIME OF PLANTING AND WILL BE SPACE NO CLOSER THAN 15-20 FT. O.C. AND NO GREATER THAN 40 FT. O.C.
- WHILE PLANTINGS MAY BE STAGGERED, DEVELOPER COMMITMENT WILL NOT BE REQUIRED TO BE MORE THAN AN EQUIVALENT SINGLE ROW OF TREES, SUBJECT TO SPACING NOTED ABOVE AND SUPPLEMENTAL PLANTINGS ARE FOR THOSE AREAS WITH DIRECT LINE OF SIGHT ISSUES AND NOT THOSE AREAS WHERE SUFFICIENT VEGETATION EXISTS.
- DEVELOPER AGREES TO HAVE PLANTS INSTALLED AT THE START OF CONSTRUCTION.
- DEVELOPER AGREES TO REPLACE THE EXISTING CULVERT (OR VERIFY ITS CAPABILITY) IN THE UNMAINTAINED TRIBUTARY OF FISHING CREEK THAT WILL SUPPORT THE EMERGENCY VEHICLE, TO "CARRY" THE 25-YEAR STORM EVENT. "CARRY" SHALL MEAN THAT THEORETICAL HYDRAULIC ANALYSIS DOES NOT OVERTOP THE DRIVING SURFACE FOR GIVEN STORM EVENT.

NATURAL BUFFERING BETWEEN PEBBLE CREEK & FERGUS CROSSROADS

- WHERE GRADING ACTIVITIES DISTURB WITHIN 50-FT OF THE PROPERTY LINES SHARED WITH PEBBLE CREEK (SITE GRADING AND STORMWATER MANAGEMENT POND CONSTRUCTION), EVERGREEN TREES (LOBLOLLY PINES OR EQUIVALENT FAST GROWTH EVERGREEN TREES) SHALL BE MIN. 6-8 FT. IN HEIGHT AT 40-50 FT. INTERVALS ALONG THE DISTURBANCE LIMITS NEAREST PEBBLE CREEK (DOWNSTREAM EXTERIOR BERM OF STORMWATER MANAGEMENT PONDS).
- LINEAR PUBLIC UTILITY CONSTRUCTION SUCH AS SEWER OUTFALLS WILL NOT BE REPLANTED UNLESS SUCH DISTURBANCE IS COMBINED WITH SITE GRADING AND THE CUMULATIVE EFFECT OF BOTH LINEAR UTILITY WORK AND SITE GRADING OPERATIONS ARE WITHIN 50-FT OF THE SHARED PROPERTY LINE.
- EVERGREEN TREES SHALL BE 6-8 FT. IN HEIGHT AT TIME OF PLANTING.

STORMWATER MANAGEMENT PONDS

- DEVELOPER AGREES TO PROVIDE A SINGLE, 12-BEDROOM PURPLE MARTIN HOUSE AT EACH STORMWATER MANAGEMENT POND LOCATION (ALL BUT LOCATIONS MOUNTED NO LESS THAN 10-FT ABOVE GRADE).
- PURPLE MARTIN HOUSES WILL BE INSTALLED UPON CONVERSION OF STORMWATER MANAGEMENT PONDS TO ITS FINAL GRADE AND CONDITION (AFTER EROSION CONTROL PHASES).

SEE SHEET 3 FOR ALL LINE AND CURVE TABLES

FINAL PLAT OF
FERGUS CROSSING
PHASE 1
CITY OF YORK
YORK COUNTY, SOUTH CAROLINA

SURVEYED FOR CURRENT OWNER:
HC FERGUS CROSSING LLC
1360 ALEXANDER LOVE HWY E,
YORK, SC 29745

R. Joe Harris & Associates, Inc.

Engineering & Land Surveying
1186 STONECREST BLVD, TEGA CAY, SC 29708

Phone: (803) 802-1799



DATE	8-14-23
PROJECT #	5263
DWG FILE #	4223
DWG SCALE	1" = 100'
PREPARED BY	D. CULVER
CHECKED BY	K. GREEN
SHEET	OF
2	3

Line Table		
Line #	Length	Direction
L1	21.44	N50°50'12"W
L2	21.00	N25°07'15"E
L3	20.00	N25°07'15"E
L3	24.00	N50°50'12"W
L4	20.00	N25°07'15"E
L4	20.03	N50°50'12"W
L5	21.00	N25°07'15"E
L5	11.00	N50°51'40"W
L6	59.97	S86°22'32"E
L7	130.00	S42°57'16"E
L8	51.36	N60°14'30"E
L9	93.03	S42°57'16"E
L10	50.09	S50°31'16"W
L11	90.00	N42°57'16"W
L12	110.00	S42°57'16"E
L13	16.22	S65°02'07"W
L14	21.63	S24°57'53"E
L15	50.08	S61°47'07"W
L16	67.35	S61°47'07"W
L17	12.34	S61°47'07"W

Line Table		
Line #	Length	Direction
L18	22.85	S72°50'21"W
L19	29.47	S72°50'21"W
L20	29.47	S82°53'43"W
L21	18.79	S82°53'43"W
L22	39.34	S89°18'56"W
L23	113.12	S0°41'04"E
L24	124.80	S4°49'08"E
L25	51.93	S31°44'50"E
L26	1.47	S78°10'16"W
L27	46.48	S77°19'35"W
L28	2.37	S76°50'16"W
L29	51.44	N29°38'48"W
L30	124.80	N4°49'08"W
L31	113.12	N0°41'04"W
L32	28.58	N79°13'56"W
L33	31.55	N79°13'56"W
L34	31.55	N66°35'52"W
L35	8.45	N66°35'52"W
L36	39.89	N63°11'57"W
L37	43.00	N63°11'57"W

Line Table		
Line #	Length	Direction
L38	43.00	N63°11'57"W
L39	26.25	N70°01'34"W
L40	23.18	S46°06'26"W
L41	43.00	S36°02'14"W
L42	43.00	S36°02'14"W
L43	43.00	S36°02'14"W
L44	43.00	S36°02'14"W
L45	48.01	S36°02'14"W
L46	110.00	N51°07'06"E
L47	43.00	S38°52'54"E
L48	43.00	S38°52'54"E
L49	35.51	S42°43'35"E
L50	43.00	S53°14'43"E
L51	43.00	S53°14'43"E
L52	43.00	S53°14'43"E
L53	110.00	S36°45'17"W
L54	50.00	S36°45'17"W
L55	41.74	N53°14'43"W
L56	110.00	S36°02'14"E
L57	48.95	S29°10'10"W

Line Table		
Line #	Length	Direction
L58	23.92	S35°26'11"W
L59	16.86	S10°56'31"W
L60	2.50	N11°45'50"E
L61	87.75	S53°57'46"E
L62	39.66	S38°52'54"E
L63	43.00	S38°52'54"E
L64	28.15	S38°52'54"E
L65	8.96	S53°14'43"E
L66	43.00	S53°14'43"E
L67	43.00	S53°14'43"E
L68	43.00	N53°14'43"W
L69	43.00	N53°14'43"W
L70	43.00	N53°14'43"W
L71	7.71	N53°14'43"W
L72	24.24	N38°52'54"W
L73	43.00	N38°52'54"W
L74	43.00	N38°52'54"W
L75	87.75	N53°57'46"W
L76	12.71	S42°57'16"E
L77	43.00	N36°02'14"E

Line Table		
Line #	Length	Direction
L78	43.00	N36°02'14"E
L79	43.00	N36°02'14"E
L80	43.00	N36°02'14"E
L81	12.57	N36°02'14"E
L82	16.90	S63°11'57"E
L83	43.00	S63°11'57"E
L84	43.00	S63°11'57"E
L85	31.43	S63°11'57"E
L86	4.02	N89°18'56"E
L87	43.00	N89°18'56"E
L88	43.00	N89°18'56"E
L89	43.00	N89°18'56"E
L90	43.00	N89°18'56"E
L91	43.00	N89°18'56"E
L92	43.00	N89°18'56"E
L93	28.00	N89°18'56"E
L94	90.00	S0°41'04"E
L95	90.00	N0°41'04"W
L96	12.71	S42°57'16"E
L97	46.73	S24°57'53"E

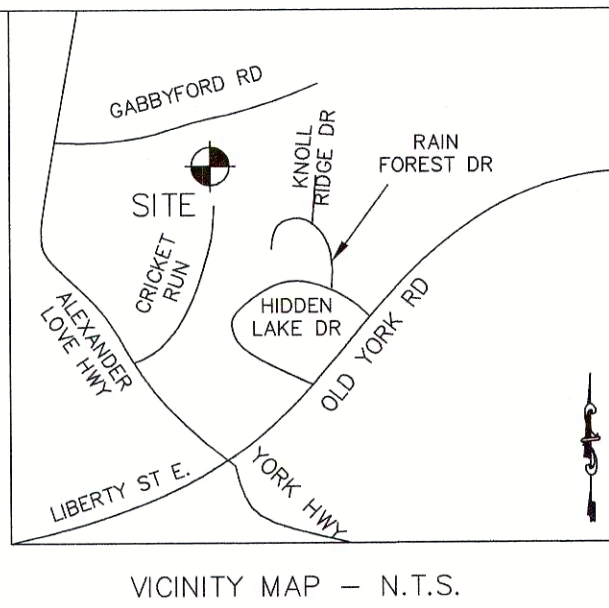
Line Table		
Line #	Length	Direction
L98	22.26	N24°57'53"W
L99	9.77	N42°57'16"W
L100	25.66	S89°18'56"W
L101	33.00	S89°18'56"W
L102	53.00	S89°18'56"W
L103	53.00	S89°18'56"W
L104	53.00	S89°18'56"W
L105	53.00	S89°18'56"W
L106	53.00	S89°18'56"W
L107	53.00	S89°18'56"W
L108	14.67	S89°18'56"W
L109	20.31	N63°11'57"W
L110	53.00	N63°11'57"W
L111	53.00	N63°11'57"W
L112	8.03	N63°11'57"W
L113	15.57	S36°02'14"W
L114	53.00	S36°02'14"W
L115	53.00	S36°02'14"W
L116	53.00	S36°02'14"W
L117	38.00	S36°02'14"W

Line Table		
Line #	Length	Direction
L118	90.42	N53°57'46"W
L119	90.42	S53°57'46"E
L120	14.93	N39°09'48"E
L121	29.05	S75°20'13"E
L122	13.20	N75°20'13"W
L123	14.00	N14°39'47"E
L124	10.03	N75°20'13"W
L125	14.00	S50°50'12"E
L126	10.00	S39°09'48"W
L127	100.00	S50°50'12"E
L128	100.00	S50°50'12"E
L129	100.00	S50°50'12"E
L130	100.00	S78°14'10"E
L131	100.00	S78°14'10"E
L132	100.00	S78°14'10"E
L133	100.00	S78°14'10"E
L134	100.00	S78°14'10"E
L135	100.73	S64°52'45"E
L136	100.00	S64°52'45"E
L137	100.73	S64°52'45"E

Line Table		
Line #	Length	Direction
L138	100.00	S53°57'46"E
L139	100.00	S53°57'46"E
L140	100.00	S53°57'46"E
L141	100.00	S53°57'46"E
L142	100.00	S53°57'46"E
L143	100.00	S53°57'46"E
L144	100.00	S53°57'46"E
L145	100.00	S53°57'46"E
L146	100.00	S53°57'46"E
L147	100.00	S53°57'46"E
L148	100.00	S53°57'46"E
L149	100.00	S53°57'46"E
L150	21.00	S36°02'14"W
L151	20.00	S36°02'14"W
L152	21.00	S36°02'14"W
L153	100.00	N53°57'46"W
L154	100.00	N53°57'46"W
L155	100.00	N53°57'46"W
L156	21.00	S36°02'14"W
L157	20.00	S36°02'14"W

Easement Line Table		
Line #	Length	Direction
E1	92.35	N53°57'46"W
E2	225.28	S34°35'01"W
E3	10.00	S34°34'05"W
E4	20.00	N55°25'55"W
E5	10.00	N34°34'05"E
E6	245.80	N34°34'57"E
E7	112.87	S53°57'46"E
E8	20.00	S36°02'16"W
E9	1.10	N36°02'14"E
E10	18.90	N36°02'14"E
E11	96.77	N53°57'46"W
E12	46.95	N33°50'37"W
E13	42.22	N49°21'24"E
E14	10.58	S59°32'32"E
E15	10.04	S34°43'26"E
E16	44.65	S49°21'24"W
E17	80.14	S55°33'21"W
E18	21.05	N39°27'25"W
E19	42.94	S33°50'37"E
E20	93.23	S53°57'46"E

Easement Line Table		
Line #	Length	Direction
E21	19.44	S36°02'09"W
E22	42.00	N53°57'46"E
E23	40.00	N36°02'14"E
E24	42.77	S53°57'46"E
E25	12.26	N36°02'14"E
E26	21.82	N36°02'14"E
E27	20.69	S77°31'50"E
E28	118.57	N36°03'02"E
E29	20.00	S53°56'58"E
E30	131.67	S36°03'02"W
E31	42.51	N77°31'50"W
E32	179.43	S81°33'31"E
E33	14.53	S14°58'41"E
E34	6.92	S6°58'46"E
E35	187.04	N81°33'31"W



VICINITY MAP - N.T.S.

Line Table		
Line #	Length	Direction
L158	20.00	S36°02'14"W
L159	21.00	S36°02'14"W
L160	100.00	N53°57'46"W
L161	100.00	N53°57'46"W
L162	100.00	N53°57'46"W
L163	103.29	N60°27'33"W
L164	105.55	N60°27'33"W
L165	106.65	N60°27'33"W
L166	105.98	N60°27'33"W
L167	22.51	S13°44'08"W
L168	100.00	N78°14'10"W
L169	100.00	N78°14'10"W
L170	100.00	N78°14'10"W
L171	100.00	N78°14'10"W
L172	100.73	N62°30'22"W
L173	100.00	N62°30'22"W
L174	100.73	N62°30'22"W
L175	100.00	N50°50'12"W
L176	100.00	N50°50'12"W
L177	100.00	N50°50'12"W

Line Table		
Line #	Length	Direction
L178	100.00	N50°50'12"W
L179	100.00	N50°50'12"W
L180	130.00	S53°57'46"E
L181	130.00	S53°57'46"E
L182	130.00	S53°57'46"E
L183	130.00	S53°57'46"E
L184	130.00	S53°57'46"E
L185	130.00	S53°57'46"E
L186	130.00	S53°57'46"E
L187	130.00	S53°57'46"E
L188	130.00	S53°57'46"E
L189	130.00	S53°57'46"E
L190	130.00	S53°57'46"E
L191	130.00	S42°57'56"E
L192	130.00	S27°23'34"E
L193	130.00	S11°49'12"E
L194	29.36	N47°02'04"E
L195	41.71	N47°02'04"E
L196	41.71	N62°36'26"E
L197	41.71	N62°36'26"E

Line Table		
Line #	Length	Direction
L198	41.71	N78°10'48"E
L199	41.71	N78°10'48"E
L200	41.71	S86°14'51"E
L201	130.00	S3°45'09"W
L202	130.00	N13°35'12"E
L203	35.33	S76°24'48"E
L204	43.36	S63°11'57"E
L205	53.00	S63°11'57"E
L206	53.00	S63°11'57"E
L207	31.63	S74°30'50"E
L208	130.00	S0°41'04"E
L209	130.00	S26°48'03"W
L210	130.00	S26°48'03"W
L211	130.00	S26°48'03"W
L212	130.00	S0°41'04"E
L213	130.00	S0°41'04"E
L214	130.00	S0°41'04"E
L215	130.00	S0°41'04"E
L216	130.00	S0°41'04"E
L217	130.00	S0°41'04"E

Line Table		
Line #	Length	Direction
L218	130.26	N0°41'04"W
L219	37.00	N81°16'02"E
L220	51.23	N64°54'34"E
L221	40.68	N54°43'10"E
L222	53.00	N47°02'44"E
L223	53.00	N47°02'44"E
L224	53.00	N47°02'44"E
L225	130.00	S24°57'53"E
L226	130.00	S24°57'53"E
L227	130.00	S24°57'53"E
L228	130.00	S24°57'53"E
L229	130.00	S24°57'53"E
L230	130.00	S24°57'53"E
L231	130.00	S24°57'53"E
L232	130.00	S27°13'16"E
L233	130.00	S42°57'16"E
L234	130.00	S42°57'16"E
L235	130.00	S42°57'16"E
L236	110.00	N42°57'16"W
L237	110.00	N42°57'16"W

Line Table		
Line #	Length	Direction
L238	110.00	N42°57'16"W
L239	110.00	N28°12'53"W
L240	110.00	N24°57'53"W
L241	110.00	N24°57'53"W
L242	110.00	N24°57'53"W
L243	110.00	N24°57'53"W
L244	110.00	N24°57'53"W
L245	110.00	N24°57'53"W
L246	110.00	N24°57'53"W
L247	110.00	N24°57'53"W
L248	110.00	N24°57'53"W
L249	110.00	N17°06'39"W
L250	110.00	N7°06'17"W
L251	110.00	N0°41'04"W
L252	110.00	N0°41'04"W
L253	110.00	N0°41'04"W
L254	110.00	N0°41'04"W
L255	110.00	N0°41'04"W
L256	110.00	N0°41'04"W
L257	110.00	N0°41'04"W

Line Table		
Line #	Length	Direction
L258	110.00	N10°46'04"E
L259	110.00	N23°24'08"E
L260	110.00	N26°48'03"E
L261	110.00	N26°48'03"E
L262	110.00	N26°48'03"E
L263	110.00	N10°49'39"W