

VICINITY MAP - N.T.S.

ALL BOUNDARY INFORMATION AND PARCEL INFORMATION TAKEN FROM GIS AND HAS NOT BEEN FIELD VERIFIED. INFORMATION SHALL BE CONSIDERED APPROXIMATE.

TOPOGRAPHIC INFORMATION TAKEN FROM YORK COUNTY GIS.

WETLANDS INFORMATION TAKEN FROM A DELINEATION SURVEY BY THE ISAACS GROUP DATED 7-12-06

SITE IS NOT LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AREA (SFHA) PER FEMA/FIRM MAP NO. 45091C0277E WITH EFFECTIVE DATE OF 9/26/2008.

DEVELOPMENT INFORMATION:

PROJECT: ALEXANDER MEADOWS
City of York, South Carolina

DEVELOPER: YORK ELECTRIC CO-OP, INC.
1385 East Alexander Love Highway
York, South Carolina 29745

PROPERTY OWNER: YORK ELECTRIC CO-OP, INC.
1385 East Alexander Love Highway
York, South Carolina 29745

TAX PARCELS: 0702501031

ACREAGE: 91.4 ACRES± (Not Including Cooperative Way R/W)

ZONING: TRANSITIONAL USE
(PROPOSED PLANNED UNIT DEVELOPMENT)

ZONING JURISDICTION:

PLANNING/ZONING: CITY OF YORK
10 N. Roosevelt St.
York, SC 29745

PHASE 1 - RESIDENTIAL DEVELOPMENT AREA

ACREAGE: 32.88 Acres±

UNITS PROPOSED: 145 Units & Lots (4.4 DUA)

LOT WIDTHS: 16' - Townhome Sublots
30.5' - Single Family Detached Rear Access
35.5' - Single Family Detached Rear Access
40.5' - Single Family Detached Front Access

MINIMUM LOT SIZE: 800 SF - Townhome Sublots
3,700 SF - SFR Detached Lots

OPEN SPACE: Required - 8.23 Acres± (25%)
Proposed* - 13.88 Acres (42%)
* Does not include areas in lots, roads/alleys and open areas in TH area

ROAD LENGTHS: ROAD #1 - 1956 LF±
ROAD #2 - 1225 LF±
ROAD #3 - 481 LF±

PHASE 1 - COMMERCIAL DEVELOPMENT AREA

ACREAGE: 11.76 Acres±

UNITS PROPOSED: 7 Out Parcels

SETBACKS: Front (Major Roads) - 50 FT.*
Front (Minor Roads) - 25 FT.*
Side (Interior) - 0 FT.
Rear - 25 FT.
*Major roads include Alexander Love Hwy, Cooperative Way, and E. Liberty Street. All other roads are considered Minor.

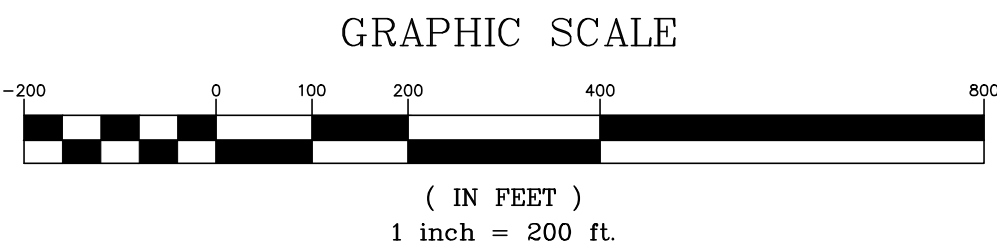
PHASE II STORMWATER:

Site is Currently Subject to NPDES Phase II Stormwater Regulations.
BMP locations to be determined during preliminary design.

FUTURE PHASES

The Planned Unit Development Master Plan is to be updated and amended as future development is proposed.

Only Phase I Development Area is submitted as part of this plan and application for approval by the City of York.



DATE	ISSUED FOR	REV
6-22-20	Submission to City of York	0
9-17-20	2nd Submittal to City of York	1
10-30-20	PC Request: Add Pergola & Front Facade Materials	2

Engineer:



R. Joe Harris & Associates, Inc.

Engineering • Land Surveying • Planning
Management

1186 Stonemont Boulevard, Tega Cay, South Carolina 29708 P | 803-802-1799

www.rjoe Harris.com

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REZONING
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Project Manager	Drawn
-	B. Pridemore
Department Manager	Checked
-	-

Print/Plot Date

October 30, 2020

Client

YORK ELECTRIC COOP., INC.

1385 East Alexander Love Highway
York, South Carolina 29745
P: 803-684-4248

Project:

ALEXANDER MEADOWS
York, South Carolina

Drawing Title:

PLANNED UNIT DEVELOPMENT
MASTER PLAN
OVERALL CONCEPT PLAN

Project No.

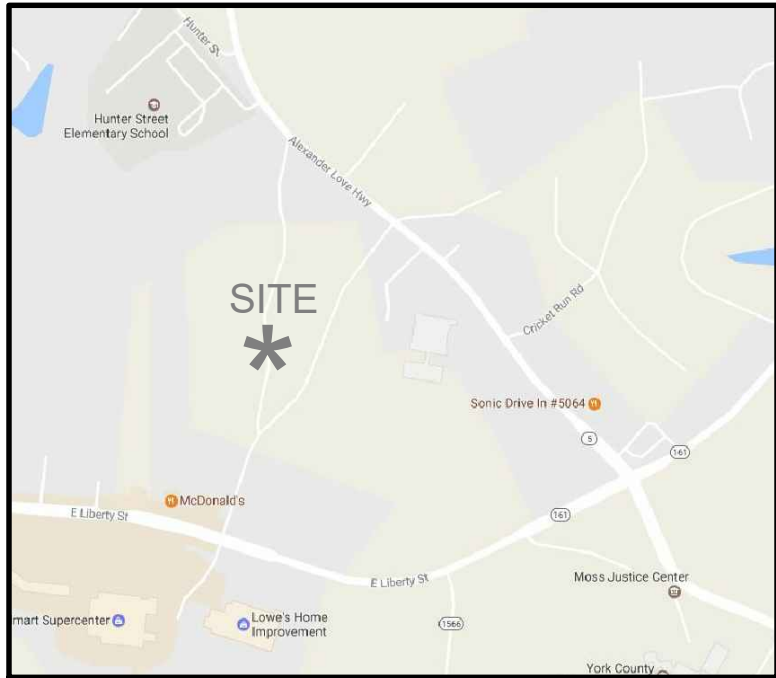
3129-Rezoning

DWG File Name:

3129-PUD Rezoning

Drawing No.

PD-1



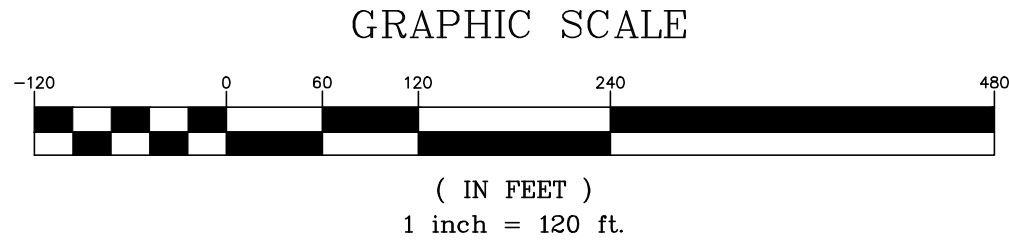
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York, South Carolina 29745

PROPERTY OWNER: YORK ELECTRIC CO-OP, INC.
1385 East Alexander Love Highway
York, South Carolina 29745

TAX PARCELS: 0702501031

ACREAGE: 45.2 ACRES± (Not Including Cooperative Way R/W)

ZONING: TRANSITIONAL USE
(PROPOSED PLANNED UNIT DEVELOPMENT)

ZONING JURISDICTION:

PLANNING/ZONING: CITY OF YORK
10 N. Roosevelt St.
York, SC 29745

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BMP locations to be determined during preliminary design.

FUTURE PHASES

The Planned Unit Development Master Plan is to be updated and amended as future development is proposed.

PHASE 1 - RESIDENTIAL DEVELOPMENT AREA

ACREAGE: 32.88 Acres±

UNITS PROPOSED: 145 Units & Lots (4.4 DUA)

LOT WIDTHS: 16' - Townhome Sublots
30.5' - Single Family Detached Rear Access
35.5' - Single Family Detached Rear Access
40.5' - Single Family Detached Front Access

MINIMUM LOT SIZE: 800 SF - Townhome Sublots
3,700 SF - SFR Detached Lots

OPEN SPACE: Required - 8.23 Acres± (25%)
Proposed* - 13.88 Acres (42%)
* Does not include areas in lots, roads/alleys and open areas in TH area

ROAD LENGTHS: ROAD #1 - 1956 LF±
ROAD #2 - 1225 LF±
ROAD #3 - 481 LF±

MISC. NOTES:

PARKING: Offstreet Parking Stall Dimensions Are 9'x19'
Min. 2 Spaces Per Attached Unit (TH) Provided

ALLEYS: Paved Width is 16' (EOP to EOP)
18" Valley or Ribbon Curb Provided on Each Side
Alley to be Placed in 30' Access/Drainage Easement or Private R/W

CONDITIONS: See Sheet PD-3 for Development Notes & Conditional Notes

TOWNHOME SUBLOTS:



DESCRIPTION: 16' WIDE ATTACHED SINGLE FAMILY
ACCESS: REAR ACCESS - CAMPUS PARKING

SETBACKS: STREET/FRONT - 15'
(MIN.) STREET/CORNER - 10'
SIDE YARD - 16' BTW BLDGS
REAR YARD - 20' FROM PARKING

DENSITY: 22 UNITS 16' THs

SINGLE FAMILY DETACHED REAR ACCESS:



DESCRIPTION: 30.5' & 35.5' WIDE SFR DET. LOT
ACCESS: REAR ACCESS - ALLEY LOAD

SETBACKS: STREET/FRONT - 10'
(MIN.) STREET/CORNER - 10'
SIDE YARD - 5'
REAR YARD - 20' FROM ALLEY

DENSITY: 26 LOTS 30.5' LOTS
17 LOTS 35.5' LOTS



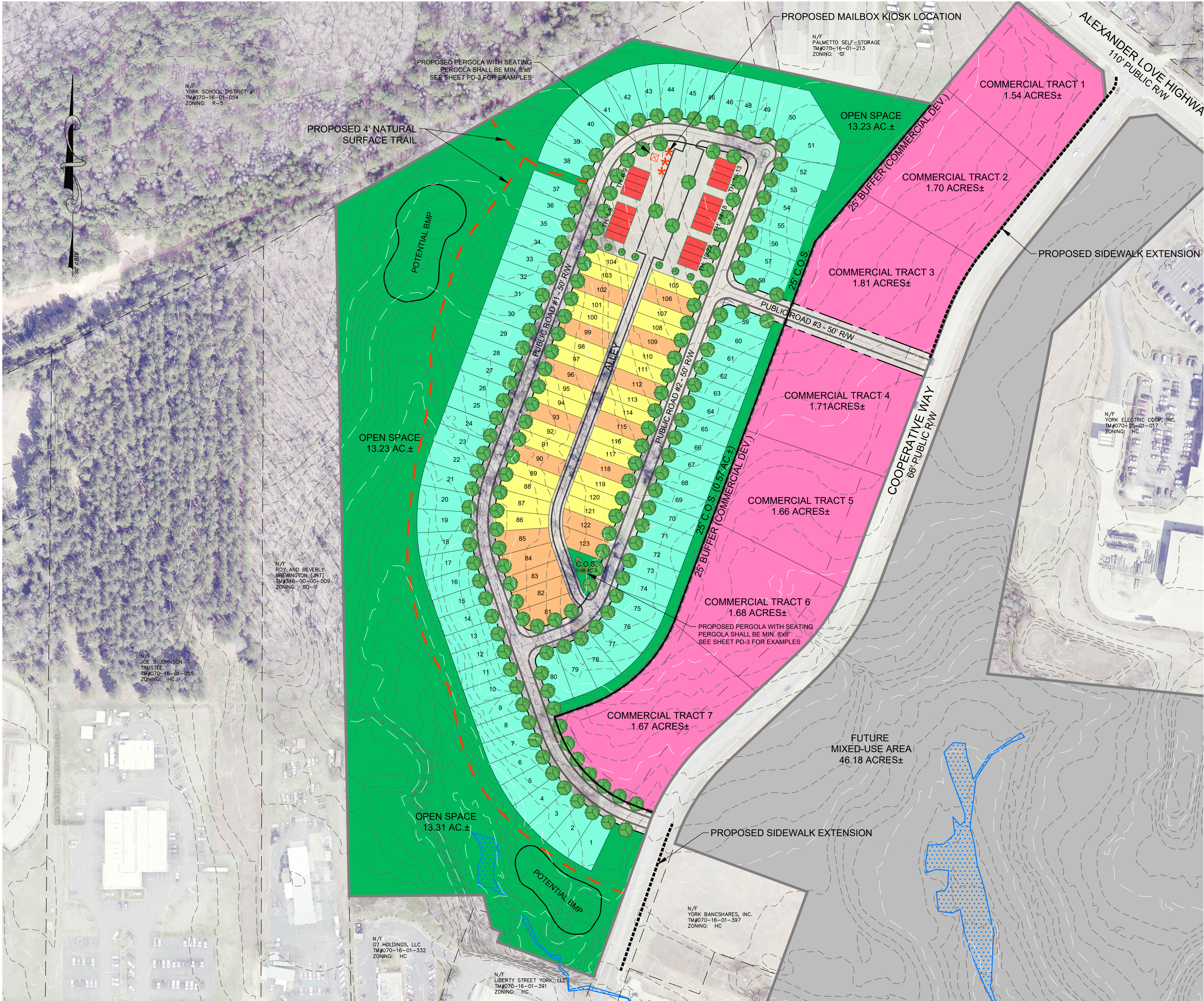
SINGLE FAMILY DETACHED FRONT ACCESS:



DESCRIPTION: 40.5' WIDE SFR DETACHED LOT
ACCESS: FRONT ACCESS

SETBACKS: STREET/FRONT - 20'
(MIN.) STREET/CORNER - 10'
SIDE YARD - 5'
REAR YARD - 15'

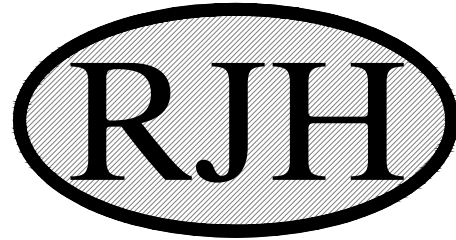
DENSITY: 80 LOTS 40.5' LOTS



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Engineer:



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-	B. Pridemore
Department Manager	Checked
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Print/Plot Date

October 30, 2020

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1385 East Alexander Love Highway
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P: 803-684-4248

Project:

ALEXANDER MEADOWS
York, South Carolina

Drawing Title:

PLANNED UNIT DEVELOPMENT
MASTER PLAN
PHASE I PLAN

Project No.	Drawing No.
3129-Rezoning	PD-2
DWG File Name:	
3129-PUD Rezoning	

ILLUSTRATIVE EXAMPLES FOR ARBOR/PERGOLA

The following are for illustrative purposes only to show types of arbor/pergola that may be built for the project. Final design, layout and materials will be fit to location but arbor/pergola shall not be smaller than 8'x8'. Structure shall not be too large as to impact lifestyle of adjacent residents.



ARBOR/PERGOLA

- Traditional arbor/pergola in landscaped setting
Typical installation areas:
- pocket parks
 - gardens
 - scenic overviews
 - fit onto greens (non-paved areas)



ARBOR/PERGOLA

- Linear arbor/pergola in park setting
Typical installation areas:
- heavy pedestrian traffic areas
 - larger parks and open spaces
 - destination type feature (away from residences for privacy reasons
 - surrounded by hardscape (parking areas, paved pedestrian areas)

Typically reduce footprint of feature to fit into pocket parks, gardens and limited access areas where accessed by natural surface trails



SEATING BENCH

- Provision of seating bench under/near arbor/pergola and may consist of following materials:
- treated wood/timbers
 - aluminum or cast iron/steel
 - composite materials
 - durable plastics

PUD/CONDITIONAL NOTES:

- DESIGN AND CONSTRUCTION OF THE PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF YORK, SCDOT, AND SCDHEC STANDARDS AND SPECIFICATIONS.
- PROPOSED UTILITIES WILL BE SIZED ACCORDING TO SITE REQUIREMENTS DURING THE DESIGN PHASE (CONSTRUCTION DRAWINGS/ PRELIMINARY PLAT).
- PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER SYSTEM, SUBJECT TO ANY DOWNSTREAM SEWER CAPACITY IMPROVEMENTS, IF CAPACITY IS INSUFFICIENT TO SUPPORT PROPOSED DEVELOPMENT.
- PROPOSED WATER SYSTEM SHALL CONNECT TO EXISTING WATERLINE ALONG COOPERATIVE WAY.
- THE OPEN SPACE, BUFFER, STORMWATER CONTROLS, ETC. WILL BE MAINTAINED BY THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CCRs) ESTABLISHED BY THE DEVELOPER AND ASSUMED BY THE HOMEOWNERS ASSOCIATION (HOA).
- IMPROVED AMENITY AREAS SHALL BE SPECIFIED DURING THE DESIGN PHASE AND OWNED/MAINTAINED BY THE HOA.
- ROADWAY AND SIDEWALK LOCATIONS SHALL BE DESIGNED BASED ON CURRENT CITY OF YORK AND SCDOT STANDARDS AND SPECIFICATIONS.
- MINIMUM DESIGN STANDARDS FOR DWELLINGS/HOMES WILL BE AS FOLLOWS:
 - 1000 SQ.FT. HEATED FLOOR SPACE FOR TOWNHOME UNITS W/2 SURFACE PARKING SPACES/UNIT
 - 1250 SQ.FT. HEATED FLOOR SPACE WITH 1-CAR ATTACHED GARAGE & 2-CAR PARKING PAD FOR DETACHED HOMES
 - FRONT, SIDE & REAR ELEVATIONS OF HOMES SHALL CONSIST OF FIBER CEMENT OR SIMILAR MATERIALS, BRICK OR STONE VENEER, OR ANY MIX THEREOF.
 - VINYL SIDING WILL NOT BE PERMITTED; HOWEVER, VINYL TRIM, WINDOWS AND DOORS ARE PERMITTED
- ALL BODIES OF WATER WILL BE PROTECTED. A DOUBLE ROW OF SILT FENCE WILL BE REQUIRED WHEN DISTURBANCE IS PROPOSED WITHIN 50 FEET OF WATER BODIES.
- 30' BUFFER SETBACK WILL BE REQUIRED FOR ANY PROPOSED LOTS ADJACENT TO A JURISDICTIONAL STREAM (UNLESS PERMITTED).
- LANDSCAPING AND PARKING WILL BE DESIGNED TO MEET THE CITY OF YORK STANDARDS.
- MIN. ALLOWED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 (18.4 DEGREES).
- MAX. BUILDING HEIGHT SHALL BE 35 FEET.
- STANDARD ACCESSORY AND HOME OCCUPATION USES ALLOWED FOR RESIDENTIAL DWELLING UNITS IN ACCORDANCE WITH CCRs.
- SIGNAGE SHALL BE REGULATED PER SECTION 12 OF THE CITY OF YORK ZONING ORDINANCE.
- OPEN SPACES SHALL BE A MIXTURE OF PASSIVE (MINOR IMPROVEMENTS) AND NATURAL AREAS.
- THIS PLANNED UNIT DEVELOPMENT (PUD) PLAN MUST BE APPROVED BY THE YORK CITY COUNCIL AND SETS FORTH THE REQUIRED ZONING OBLIGATIONS AND PARAMETERS FOR THE DEVELOPMENT. DETAILED PRELIMINARY PLAT (FULL CONSTRUCTION DRAWINGS) MUST THEN BE APPROVED BY THE CITY OF YORK PLANNING COMMISSION.
- FINAL PLAT TO BE REVIEWED AND APPROVED BY THE CITY OF YORK PLANNING COMMISSION.
- PHASING OF PROJECT WILL BE PERMITTED AND SHOWN ON THE PROPOSED PRELIMINARY PLAT/CONSTRUCTION DRAWINGS.
- IF PHASED, DEAD END STREETS SHALL NOT EXCEED MORE THAN 150 FEET (NEAREST ROAD INTERSECTION TO END OF PAVEMENT) WITHOUT AN APPROVED TEMPORARY TURNAROUND UNLESS OTHERWISE APPROVED BY THE CITY OF YORK.

CITY OF YORK STANDARDS & REQUIREMENTS:

- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS:
 - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN)
 - STREET LIGHTING
 - SIDEWALKS
 - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER, IF APPLICABLE.

EVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET TREES AND SIDEWALKS SHALL BE INSTALLED ALONG THE ENTIRETY OF FRONTAGE OF COOPERATIVE WAY IN ACCORDANCE WITH THE ADOPTED REQUIREMENTS FOR THE GATEWAY CORRIDOR OVERLAY DISTRICT. REQUIREMENTS ARE LIMITED TO EACH PHASE OF DEVELOPMENT SUBMITTED FOR PRELIMINARY PLAT/CONSTRUCTION DRAWING APPROVAL.
- STREET/SIDEWALK LIGHTING TO BE PROVIDED ALONG THE ENTIRE FRONTAGE OF COOPERATIVE WAY (DEVELOPMENT PHASE FRONTAGE ONLY).
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DEISGNEED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY THE BOARD OF ZONING APPEALS (BZA).
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS:
 - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD REZONING APPROVAL, OR
 - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR
 - IF ANY PORTION OF THE APPROVED MASTER PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PLANNED UNIT DEVELOPMENT PLAN APPROVAL (REZONING)
- ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
- ALL REQUIREMENTS OF THE CITY OF YORK FIRE AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
- A PHASING AND/OR SUB-PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
- THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.
- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9
- COMMERCIAL PARCELS SHALL COMPLY WITH THE HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS.
- COMMERCIAL AND TOWNHOMES SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.
- VINYL SIDING WILL NOT BE PERMITTED; HOWEVER, VINYL TRIM, WINDOWS AND DOORD ARE PERMITTED.

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