

## DEVELOPMENT STANDARDS

SEPTEMBER 23, 2021

### A. GENERAL PROVISIONS

- THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY MCFARLAND ESTATES, LLC (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON THAT APPROXIMATELY 16.10 ACRE SITE LOCATED ON MCFARLAND ROAD AT THE CORNER OF ITS INTERSECTION WITH DEVINNEY ROAD, CONSISTING OF ALL OF TAX PARCEL NO. 3460000006, WHICH SITE IS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE").
- DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF YORK ZONING ORDINANCE (THE "ORDINANCE").
- UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE R-S ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
- THE DEVELOPMENT DEPICTED ON THE REZONING PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS AND SIZES OF THE BUILDING FOOTPRINTS AS WELL AS THE INTERNAL PUBLIC STREETS DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE TERMS OF THESE DEVELOPMENT STANDARDS AND THE ORDINANCE, ARE SUBJECT TO MINOR ALTERATIONS OR MODIFICATIONS DURING THE DESIGN DEVELOPMENT AND CONSTRUCTION DOCUMENT PHASES.
- FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED BY THE THEN OWNER OR OWNERS OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCE.

### B. PERMITTED USES

- THE SITE MAY BE DEVOTED ONLY TO A RESIDENTIAL COMMUNITY CONTAINING A MINIMUM OF 159 SINGLE FAMILY DETACHED UNITS, AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN THE R-S ZONING DISTRICT.
- THE SITE WILL HAVE A TOTAL MAXIMUM UNIT COUNT NOT TO EXCEED ONE HUNDRED FIFTY NINE (159).

### C. TRANSPORTATION

- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CITY OF YORK AND/OR THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE SITE WILL BE SERVED BY INTERNAL PUBLIC STREETS IN THOSE LOCATIONS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN AND LABELED AS "PROPOSED ROAD". MINOR ADJUSTMENTS TO THE LOCATIONS OF THE INTERNAL PUBLIC STREETS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR A NEW BUILDING CONSTRUCTED ON THE SITE, PETITIONER SHALL DEDICATE AND CONVEY TO THE CITY OF YORK OR TO SCOTD (AS APPLICABLE) THOSE PORTIONS OF THE SITE REQUIRED TO PROVIDE RIGHT OF WAY MEASURING TWENTY-FIVE (25) FEET FROM THE ROAD CENTERLINE AS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN.

### D. ARCHITECTURAL STANDARDS

- THE MAXIMUM HEIGHT IN FEET OF THE DWELLING UNITS TO BE LOCATED ON THE SITE SHALL BE AS MEASURED UNDER THE ORDINANCE.
- THE ACTUAL WIDTHS OF THE DWELLING UNITS MAY VARY FROM THE WIDTHS DEPICTED ON THE REZONING PLAN.
- BUILDING MATERIALS FOR THE BUILDING CONSTRUCTED ON THE SITE MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING: GLASS, BRICK, STONE, SIMULATED STONE, PRE-CAST STONE, PRE-CAST CONCRETE, SYNTHETIC STONE, STUCCO, CEMENTITIOUS SIDING, WFS, OR WOOD.
- BUILDING MATERIALS FOR THE FRONT OF THE DWELLING UNIT SHALL BE THIRTY (30) PERCENT STONE OR MASONRY. SIDE ELEVATIONS SHALL CONSIST OF A TURNED DOWN SLAB, WHEN NECESSARY, WITH BRICK FACING.
- A MINIMUM OF 12 LOTS, TO BE IDENTIFIED AND LABELED ON THE PRELIMINARY PLAT, SHALL ALLOW FOR THE CONSTRUCTION OF SIDE LOAD GARAGES.
- VINYL SIDING IS PROHIBITED, HOWEVER VINYL MAY BE UTILIZED ON WINDOWS, DOORS, GARAGE DOORS, SOFFITS, TRIM, AND RAILINGS.
- PITCHED ROOFS, IF PROVIDED, SHALL BE SLOPED NO LESS THAN 4:12, EXCEPT THAT ROOFS FOR PORCHES AND ATTACHED SHEDS MAY BE NO LESS THAN 2:12, UNLESS A FLAT ROOF ARCHITECTURAL STYLE IS EMPLOYED.
- WALKWAYS SHALL BE PROVIDED FROM SINGLE FAMILY DETACHED STREET-FACING FRONT RESIDENTIAL ENTRANCES TO DRIVEWAYS IN ORDER TO CONNECT ALL RESIDENTIAL ENTRANCES TO SIDEWALKS ALONG PUBLIC STREETS.
- FRONT FACING GARAGE DOORS WILL HAVE WINDOWS AND CARRIAGE STYLE HARDWARE.
- NO SAME TWO MODELS OF HOMES SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR BE LOCATED DIRECTLY ACROSS THE STREET FROM ONE ANOTHER UNLESS MODEL ELEVATIONS ARE VISUALLY DIVERSE.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.

### E. LIGHTING

- ALL FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE (EXCLUDING LOWER, DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG THE DRIVEWAYS, SIDEWALKS, AND WALKWAYS AND LANDSCAPING LIGHTING) SHALL BE DUKE ENERGY "OPEN DELUXE ACORN LED" LIGHTS TO BE PLACED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.
- THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE, INCLUDING ITS BASE, SHALL NOT EXCEED 31 FEET.

### F. ENVIRONMENTAL FEATURES

- THE LOCATION, SIZE, AND TYPE OF STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORMWATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.
- PROPOSED FIFTEEN FOOT SUBDIVISION PERIMETER BUFFER SHALL BE LEFT UNDISTURBED TO THE MAXIMUM EXTENT PRACTICAL FOR THE PROPOSED DEVELOPMENT.

### G. AMENITIES

- PETITIONER MAY INCORPORATE PRIVATE PEDESTRIAN WALKWAYS AND BENCHES FOR SEATING INTO THE PROPOSED OPEN SPACE AND AMENITY AREAS.
- PROPOSED NATURAL TRAILS SHALL BE A MINIMUM OF 48 INCHES WIDE.
- PROPOSED PAVED SURFACE TRAILS SHALL BE A MINIMUM OF 60 INCHES WIDE.
- PROPOSED COMMON SPACE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- LANDSCAPING TO BE PROVIDED ALONG PROPERTY LINES SHARED WITH POCKET PARKS AND NATURAL TRAILS.

### A. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
- THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

**bloc**  
Bloc Design  
2923 S. Tryon Street, Suite 320  
Charlotte, NC 28203  
phone: 704-940-2883  
www.bloc-nc.com

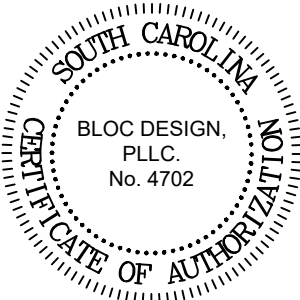
landscape architecture | planning | civil engineering

## REVISIONS

NO.	DATE	DESCRIPTION
1	10.25.21	CITY COMMENTS
2	01.13.22	CITY COMMENTS

Disclaimer ©2022:  
Information contained in this document is the property of Bloc Design, PLLC, and the project client listed on this document.  
The reproduction, copying, and other use without written consent is prohibited and may be subject to legal action to the fullest extent possible.

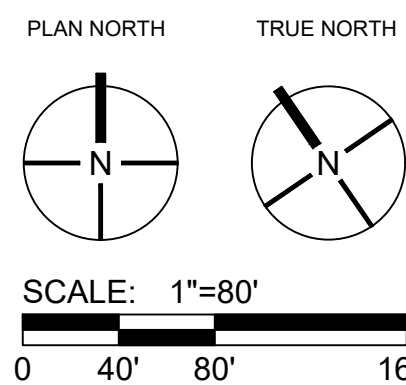
stamp / seal:



NOT FOR  
CONSTRUCTION

McFarland Estates  
Single-Family Subdivision

1270 McFarland Road  
York, SC 29745



DATE: 09/23/21

MPIC: WLL

DRAWN BY: LVH

CHECKED BY: RACWLL

PROJECT NUMBER: 00842.00

SCALE: 1"=80'

TITLE:  
CONCEPTUAL SITE PLAN

SHEET NO:

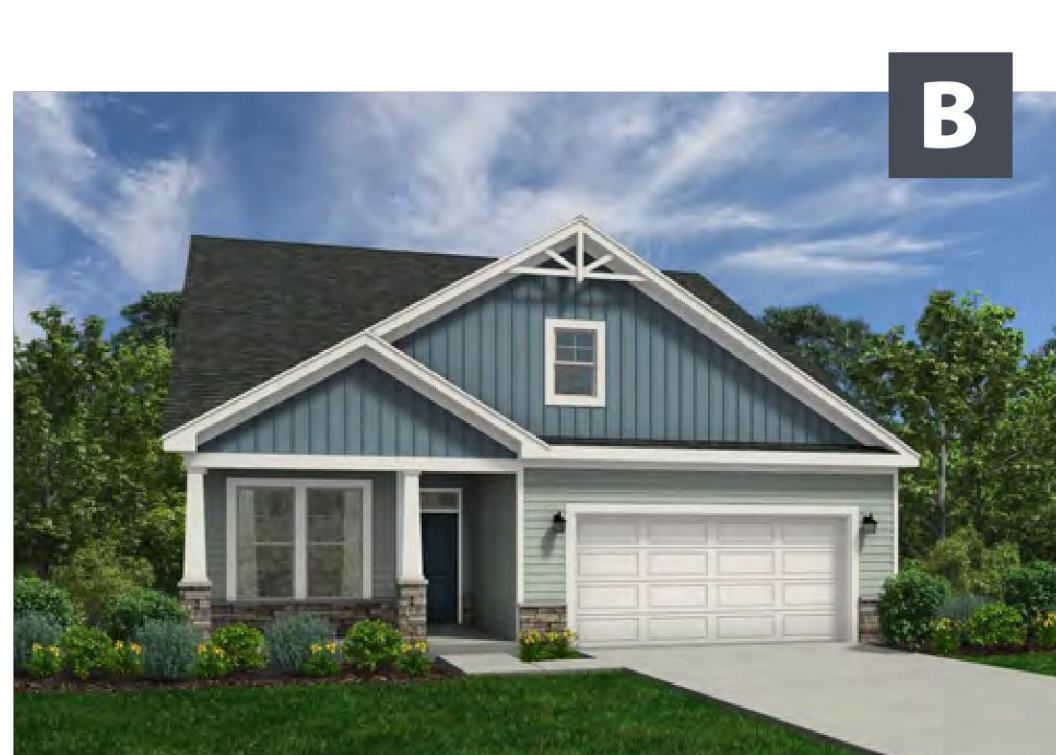
RZ-1





H&H HOMES - THE OCEANA - CONCEPTUAL BUILDING ELEVATION

BUILDING ELEVATIONS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



H&H HOMES - THE HOLDEN - CONCEPTUAL BUILDING ELEVATION

BUILDING ELEVATIONS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



H&H HOMES - THE IVY - CONCEPTUAL BUILDING ELEVATION

BUILDING ELEVATIONS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



H&H HOMES - THE TRILLIUM - CONCEPTUAL BUILDING ELEVATION

BUILDING ELEVATIONS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



H&H HOMES - THE JORDAN - CONCEPTUAL BUILDING ELEVATION

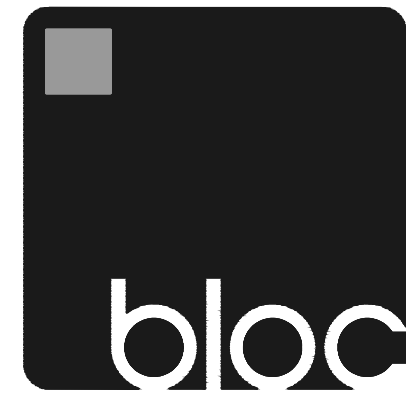
BUILDING ELEVATIONS ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.

#### CONDITIONAL NOTES

- DESIGN AND CONSTRUCTION OF THE PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF YORK, SCOTD, AND SCOTCH STANDARDS AND SPECIFICATIONS.
- PROPOSED UTILITIES WILL BE SIZED ACCORDING TO SITE REQUIREMENTS DURING THE DESIGN PHASE CONSTRUCTION DRAWINGS/PRELIMINARY PLAT.
- PROPOSED SEWER SHALL CONNECT TO EXISTING SANITARY SEWER SYSTEM, SUBJECT TO ANY DOWNSTREAM SEWER CAPACITY IMPROVEMENTS, IF CAPACITY IS INSUFFICIENT TO SUPPORT PROPOSED DEVELOPMENT.
- PROPOSED WATER SYSTEM SHALL CONNECT TO EXISTING WATERLINE WITHIN DEVINEY ROAD.
- THE OPEN SPACE, BUFFER, STORMWATER CONTROLS, ETC. WILL BE MAINTAINED BY THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CCRs) ESTABLISHED BY THE DEVELOPER AND ASSUMED BY THE HOMEOWNERS ASSOCIATION (HOA).
- IMPROVED AMENITY AREAS SHALL BE SPECIFIED DURING THE DESIGN PHASE AND OWNED/MAINTAINED BY THE HOA.
- ROADWAY AND SIDEWALK LOCATIONS SHALL BE DESIGNED BASED ON CURRENT CITY OF YORK AND SCOTD STANDARDS AND SPECIFICATIONS.
- MINIMUM DESIGN STANDARDS FOR DWELLINGS/HOMES WILL BE AS FOLLOWS:
  - 1,600 SQ.FT. FLOOR SPACE WITH 2-CAR ATTACHED GARAGE & 2-CAR PARKING PAD FOR DETACHED HOMES.
  - FRONT SIDE & REAR ELEVATIONS OF HOMES MAY CONSIST OF GLASS, BRICK, STONE, SIMULATED STONE, PRE-CAST STONE, PRE-CAST CONCRETE, SYNTHETIC STONE, STUCCO, CEMENTITIOUS SIDING, WIPS, OR WOOD.
  - VINYL SIDING IS PROHIBITED, HOWEVER VINYL MAY BE UTILIZED ON WINDOWS, DOORS, GARAGE DOORS, SOFFITS, TRIM, AND RAILINGS.
- EXISTING BODIES OF WATER WILL BE PROTECTED. A DOUBLE ROW OF SILT FENCE WILL BE REQUIRED WHEN DISTURBANCE IS PROPOSED WITHIN 50 FEET OF WATER BODIES.
- PER SCOTCH JURISDICTIONAL STREAMS ON SITE SHALL MAINTAIN A 30' STREAM SIDE ZONE AND A 15' UPLAND ZONE MEASURED FROM TOP OF BANK.
- LANDSCAPING AND PARKING WILL BE DESIGNED TO MEET THE CITY OF YORK STANDARDS. PITCHED ROOFS, IF PROVIDED, SHALL BE SLOPED NO LESS THAN 4:12, EXCEPT THAT ROOFS FOR PORCHES AND ATTACHED SHEDS MAY BE NO LESS THAN 2:12, UNLESS A FLAT ROOF ARCHITECTURAL STYLE IS EMPLOYED.
- MAX. BUILDING HEIGHT SHALL BE 35' FEET.
- STANDARD ACCESSORY AND HOME OCCUPATION USES ALLOWED FOR RESIDENTIAL DWELLING UNITS IN ACCORDANCE WITH CCRs.
- SIGNAGE SHALL BE REGULATED PER SECTION 12 OF THE CITY OF YORK ZONING ORDINANCE.
- OPEN SPACES SHALL BE A MIXTURE OF PAVEMENT IMPROVEMENTS AND NATURAL AREAS. THE TWO POCKET PARKS ARE TO HAVE SOME COMBINATION OF PLAY AREA, BENCHES AND GAZEBO. POOL TO BE APPROXIMATELY 1,100 SF WITH AN APPROXIMATELY 680 SF CABANA.
- THE SUBDIVISION PLAN MUST BE APPROVED BY THE BOARD OF ZONING APPEALS AND SETS FORTH THE REQUIRED ZONING OBLIGATIONS AND PARAMETERS FOR THE DEVELOPMENT. DETAILED PRELIMINARY PLAT (FULL CONSTRUCTION DRAWINGS) MUST THEN BE APPROVED BY THE CITY OF YORK PLANNING COMMISSION.
- PHASING OF PROJECT WILL BE PERMITTED AND SHOWN ON THE PROPOSED PRELIMINARY PLAT/CONSTRUCTION DRAWINGS.
- IF PHASED, DEAD-END STREETS SHALL NOT EXCEED MORE THAN 150 FEET NEAREST ROAD INTERSECTION TO END OF PAVEMENT WITHOUT AN APPROVED TEMPORARY TURNAROUND UNLESS OTHERWISE APPROVED BY THE CITY OF YORK.
- IF THE CITY DESIRES SIDEWALK, SIDEWALK LIGHTING, STREET TREES, ETC. ALONG MCFARLAND RD. THE CITY WILL CONSIDER THE OMISSION OF SUCH INFRASTRUCTURE AT THE PRELIMINARY PLAT STAGE UPON RECEIPT OF DETAILED RATIONALE FROM THE PROJECT ENGINEER. ALSO, THE STREET TREES ALONG DOWNING ROAD NEARBY ROAD NEED TO BE OF A TYPE/PATTERN DESCRIBED BY THE GATEWAY REQUIREMENTS.
- THE AMENITY INSTALLATION TIMING (ALONG WITH A SURETY APPROVED BY THE CITY) WILL BE COORDINATED WITH THE PHASING PLAN AND REVIEWED FOR APPROVAL BY THE PLANNING COMMISSION AT THE PRELIMINARY PLAT STAGE.
- ON-STREET PARKING SHALL BE PROHIBITED.

#### CITY OF YORK STANDARDS AND REQUIREMENTS

- PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETCAPPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS:
  - STREET TREES (2 DIFFERENT SPECIES IN A PATTERN)
  - STREET LIGHTING
  - SIDEWALKS
  - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER, IF APPLICABLE. EVERGREEN TREES SHALL BE MIN. 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET FRONTAGE REQUIREMENTS FOR THE GATEWAY CORRIDOR OVERLAY ARE AS DESCRIBED AND CALLED OUT ON THE PLAN.
- STREET/SIDEWALK LIGHTING TO BE PROVIDED ALONG THE ENTIRE FRONTAGE OF DEVINEY ROAD.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENTS MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY THE BOARD OF ZONING APPEALS (BZA).
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- AT THE FINAL PLAT STAGE, THE METHODOLOGY MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS:
  - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF REZONING APPROVAL OR
  - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEEDS 2 YEARS, OR
  - IF ANY PORTION OF THE APPROVED MASTER PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PLANNED UNIT DEVELOPMENT PLAN APPROVAL (REZONING).
- ALL SCOTCH REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCOTCH REQUIREMENTS.
- ALL REQUIREMENTS OF THE CITY OF YORK FIRE, UTILITIES DEPARTMENT AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
- A PHASING AND/OR SUB-PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
- IF THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPARATIONSS DIVISION AS PART OF THE PRELIMINARY PLAT.
- PROPOSED FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9.
- THE SUBDIVISION SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTANCE REQUIREMENTS.



**Bloc Design**  
2923 S. Tryon Street, Suite 320  
Charlotte, NC 28203  
phone: 704-940-2883  
www.bloc-nc.com

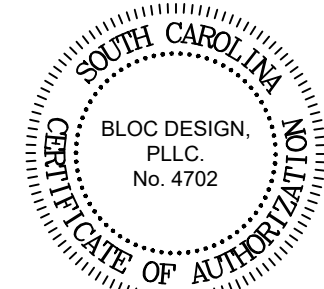
landscape architecture | planning | civil engineering

#### REVISIONS

NO.	DATE	DESCRIPTION
1	10.25.21	CITY COMMENTS
2	01.13.22	CITY COMMENTS

Disclaimer ©2022:  
Information contained in this document is the property of Bloc Design, PLLC, and the project client listed on this document.  
The reproduction, copying, and other use without written consent is prohibited and may be subject to legal action to the fullest extent possible.

stamp / seal:



NOT FOR  
CONSTRUCTION

McFarland Estates  
Single-Family Subdivision

1270 McFarland Road  
York, SC 29745

DATE: 09/23/21

MPIC: WLL

DRAWN BY: LVH

CHECKED BY: RACWLL

PROJECT NUMBER: 00842.00

SCALE: NOT TO SCALE

TITLE:  
CONCEPTUAL BUILDING ELEVATIONS

SHEET NO:

RZ-2

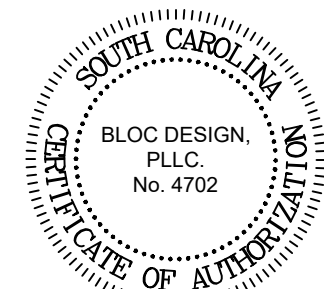




REVISIONS		
NO.	DATE	DESCRIPTION
1	10.25.21	CITY COMMENTS
2	01.13.22	CITY COMMENTS


Disclaimer ©2022:  
Information contained in this document is the property of Bioc Design, PLLC  
and the project client listed on this document.  
The reproduction, copying, and other use without written consent is  
prohibited and may be subject to legal action to the fullest extent possible.

stamp / sec



NOT FOR  
CONSTRUCTION

McFarland Estates  
Single-Family Subdivision

1270 McFarland Road  
York, SC 29745

DATE: 09/23/21	MPIC: WLL
DRAWN BY: LWH	CHECKED BY: RAC/WLL
PROJECT NUMBER: 00842.00	
SCALE: NOT TO SCALE	
TITLE: SITE SURVEY	

SHEET NO.:  
**RZ-3**

